

NOTE:

1. THESE PLANS AS SUBMITTED ARE INTENDED TO COMPLY WITH ALL REGULATIONS, STANDARDS, AND ORDINANCES OF THE SOUTH FAYETTE TOWNSHIP. ANY DEVIATION FROM THOSE REGULATIONS, STANDARDS AND ORDINANCES IS UNINTENTIONAL AND AS SUCH, IN THE EVENT THAT A CONFLICT IS DISCOVERED, IT IS UNDERSTOOD AND AGREED THAT THE SOUTH FAYETTE TOWNSHIP'S REGULATIONS, STANDARDS AND ORDINANCES WILL APPLY.

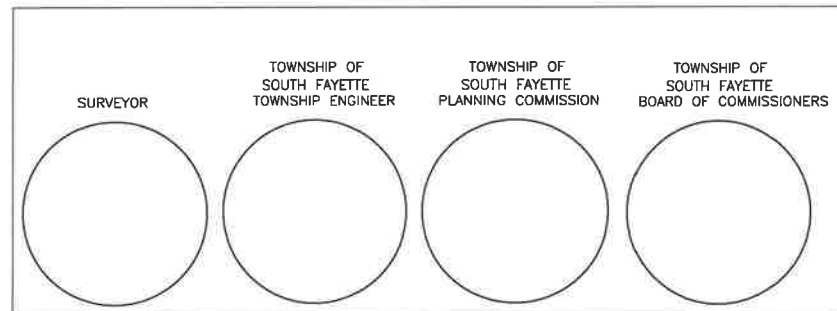
ADD WAIVERS AND MODIFICATIONS FROM CHARTER

APPROVED MODIFICATIONS:

1. MODIFICATION TO ZONING ORDINANCE SECTION § 240-75.20.B.1. MODIFICATION GRANTED FROM SECTION § 240-75.20.B.1 TO PERMIT LOT AREAS OF LESS THAN 4,000 SQUARE FEET FOR SINGLE FAMILY HOMES WHEN THE HOME IS SERVED BY AN ALLEY. THIS MODIFICATION PERTAINS TO 12 OF THE 20 PROPOSED SINGLE FAMILY LOTS.
2. MODIFICATION TO ZONING ORDINANCE SECTION § 240-75.20.B.2. MODIFICATION GRANTED FROM SECTION 240-75.20.B.2 TO PERMIT LOT AREA MINIMUMS OF LESS THAN 1,400 SQUARE FEET FOR TOWNHOUSE UNITS 513, 514, 517, 518, 519, 522, 523, 529, 528, 534, 535, 536, 539, 540, 543, 544, 545, 570, 571, 572, 583, 584, AND 587 AS SHOWN ON THE PLANS. THIS MODIFICATION PERTAINS TO 23 OF THE 87 PROPOSED TOWNHOUSE LOTS.

REQUESTED MODIFICATIONS:

1. A MODIFICATION IS REQUESTED TO SECTION § 215-74 TO ALLOW A CUL-DE-SAC STREET THAT EXCEEDS 500 FEET IN LENGTH, AS SHOWN ON THE PLAN. THIS SECTION PROVIDES IN PART: "A CUL-DE-SAC SHALL NOT BE APPROVED WHEN A THROUGH STREET IS PRACTICAL AND SHALL NOT BE MORE THAN 500 FEET IN LENGTH, UNLESS AN INTERMEDIATE TURN AROUND IS PROVIDED AT A DISTANCE OF EVERY 300 FEET AND A MODIFICATION OR EXCEPTION TO THE MAXIMUM FIVE-HUNDRED-FOOT LENGTH OF THE CUL-DE-SAC IS GRANTED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE IX OF THIS CHARTER"
2. A MODIFICATION IS REQUESTED TO SECTION 215-74.C(5), SUBSECTION C, TO ALLOW A PORTION OF THE NEW STREET AND RETAINING WALL AT THE ENTRANCE TO PHASE 1.9.4 TO ENCRoACH INTO THE RIPARIAN BUFFER BY APPROXIMATELY 15-FT, AS SHOWN ON THE PLAN. THIS SECTION PROVIDES: (C) MINIMUM MANAGEMENT REQUIREMENTS FOR RIPARIAN BUFFERS: (1) NO USE OR CONSTRUCTION WITHIN THE RIPARIAN BUFFER SHALL BE PERMITTED THAT IS INCONSISTENT WITH THE INTENT OF THE RIPARIAN BUFFER AS DESCRIBED IN SUBSECTION C(5)(a).

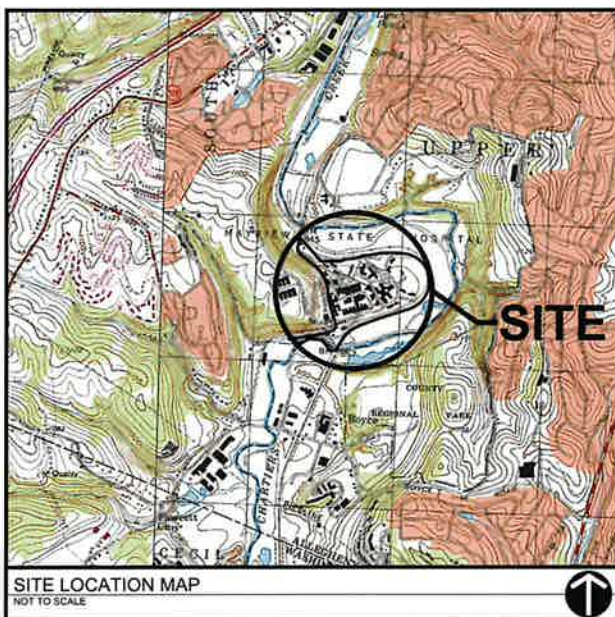


PRELIMINARY/FINAL PLAN LAND DEVELOPMENT APPLICATION FOR HASTINGS PHASE 5

MAYVIEW ROAD
PITTSBURGH, PA 15102

PREPARED FOR:

CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603



SITE LOCATION MAP
NOT TO SCALE

I CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

DATE _____ NAME _____ REGISTRATION NO. _____

_____, A REGISTERED PROFESSIONAL ENGINEER FOR THE TOWNSHIP OF SOUTH FAYETTE DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE, EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

DATE _____ NAME _____ REGISTRATION NO. _____

REVIEWED BY THE TOWNSHIP OF SOUTH FAYETTE PLANNING COMMISSION, THIS _____ DAY OF _____ 2026.

SECRETARY _____ (SEAL) CHAIRPERSON _____

THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH FAYETTE HEREBY GIVES PUBLIC NOTICE IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY. THE TOWNSHIP OF SOUTH FAYETTE ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

THE TOWNSHIP OF SOUTH FAYETTE AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SOUTH FAYETTE THIS _____ DAY OF _____ 2026.

ATTEST:
SECRETARY _____ (SEAL) PRESIDENT OF THE BOARD OF COMMISSIONERS _____

LAND USE BY AREA

SITE ZONING: ND (NEIGHBORHOOD DESIGN)

NON-RESIDENTIAL BUILDING SOFT	AREA(SF)	PHASE
CROSSROADS	10,115	1
RETIREMENT LIVING	68,300	1
VETERINARIAN CENTER	6,536	1
OTB	5,944	1
OFFICE BUILDING	8,040	1
TOTAL*	98,935	
RESERVED COMMON OPEN SPACE		
FAIRVIEW PARK**	69,98AC	1

REQUIRED MIX OF RESIDENTIAL USES

SITE ZONING: ND (NEIGHBORHOOD DESIGN)

TOWNSHIP STANDARD	PHASE 1	RETIREMENT LIVING	PHASE 2	PHASE 3	PHASE 4	PHASE 5	TOTALS	% OF TOTAL*	
RESIDENTIAL MIX SINGLE FAMILY	42	0	45	45	20	14	166	28.2%	
RESIDENTIAL MIX TOWNHOUSE, LOFTS & CROSS ROADS	77	0	55	83	67	10	292	49.7%	
RESIDENTIAL MIX MULTI-FAMILY	0	130	0	0	0	0	130	22.1%	
*MIN - 15%, MAX - 50%							TOTAL	588	100.0%

MAXIMUM DWELLING DENSITY(8.5 PER AC X 81.33 ACRES)
ACTUAL DWELLING DENSITY **7.23**

ZONING REQUIREMENTS

PHASE 1	AREA	FRONTAGE	SETBACKS		
			FRONT	SIDE	REAR
NON-RESIDENTIAL	70,000 SF TOTAL	40'	VARIES*	5' MIN.	5' MIN.
RESIDENTIAL	4,000 SF	20'	5' MIN.	5' MIN.	20' MIN. OR 5' MIN.**
	1,400 SF	20'	5' MIN.	5' MIN. (UNATTACHED)	20' MIN. OR 5' MIN.**
RESERVED COMMON OPEN SPACE	25% OF TOTAL (37,58AC)	NA	NA	NA	NA

*MINIMUM FRONT YARD VARIES BY USE.
** IF THE BUILDING IS SERVED BY REAR ALLEY ACCESS

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NON-RESIDENTIAL BUILDING SQFT	70,000 SF TOTAL
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LIST OF UTILITIES

- ELECTRIC SERVICE**
WEST PENN POWER
1879 JEFFERSON ROAD
RICES LANDING, PA 15357
CONTACT: WILLIAM FISHER
PHONE: (724) 743-2026
- GAS SERVICE**
PEOPLES NATURAL GAS COMPANY, LLC
375 NORTH SHORE DRIVE, SUITE 600
PITTSBURGH, PA 15212
CONTACT: BETH REICHERTER
PHONE: (856) 654-4660
- COMMUNICATION SERVICE**
COMCAST
1530 CHARTIERS AVE.
PITTSBURGH, PA 15204
CONTACT: CRAIG TACY
PHONE: (412) 503-4362
- COMMUNICATION SERVICE**
VERIZON
41 EAST BEAU STREET
WASHINGTON, PA 15301
CONTACT: KEITH FOWLER
PHONE: (724) 229-0695
- WATER SERVICE**
PENNSYLVANIA AMERICAN WATER
300 GALLEY ROAD
McMURRAY, PA, 15317
CONTACT: LUCIAN CAPPETTA
PHONE: (412) 401-1871
- SEWER SERVICE**
MUNICIPAL AUTHORITY OF THE TOWNSHIP OF SOUTH FAYETTE
900 PRESTO SYGAN ROAD
BRIDGEVILLE, PA 15017
CONTACT: NICK GOETTMAN
PHONE: (412) 257-5100

SHEET INDEX

NO.	TITLE
C000	COVER SHEET
C050	DEMO PLAN
C100	SITE PLAN
C100A	REVISED PRELIMINARY MASTER PLAN
C110	TRUCK TURNING TEMPLATE
C200	GRADING PLAN
C300	UTILITY PLAN
C310	PA AMERICAN WATERLINE PLAN
C311	PA AMERICAN WATERLINE PLAN
C312	PAWC DETAILS
C330	STORM PROFILES
C340	SANITARY PROFILES
C341	SANITARY PROFILES
C342	MATSF DETAILS
C343	MATSF DETAILS
C344	MATSF DETAILS
C400	EROSION & SEDIMENT CONTROL PLANS
C401	EROSION & SEDIMENT CONTROL NOTES
C402	EROSION & SEDIMENT CONTROL DETAILS
C500	ROAD PROFILES
C501	ROAD PROFILES
C600	CONSTRUCTION DETAILS
C601	CONSTRUCTION DETAILS
C602	CONSTRUCTION DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS
L110	LIGHTING PLAN
PCSM1	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
PCSM2	PCSM DETAILS
PCSM3	PCSM DETAILS

PHASE 5	RESIDENTIAL	UNIT COUNT	CRITERIA	REQUIRED	PROVIDED
	*SINGLE FAMILY	14	2 SPACES / UNIT	28	28
	*TOWNHOMES/LOFT	10	2 SPACES / UNIT	20	20
	COMMUNITY PARKING	N/A	N/A	0	0
	TOTAL	24		48	48

*EACH SINGLE FAMILY, TOWNHOME BUILDING, AND CROSSROADS UNITS INCLUDE 2 INTERNAL PARKING SPACES

ROAD NAMES	PERMITTED STREET SECTIONS	PUBLIC/PRIVATE
BRAEBANK ROAD	F	PUBLIC
ARGYLL ALLEY	A	PRIVATE
CANOPY WAY		PRIVATE
OAK STREET		PRIVATE
STATION STREET		PRIVATE
CREEKSTONE ALLEY		PRIVATE
GLENBURN WAY		PRIVATE



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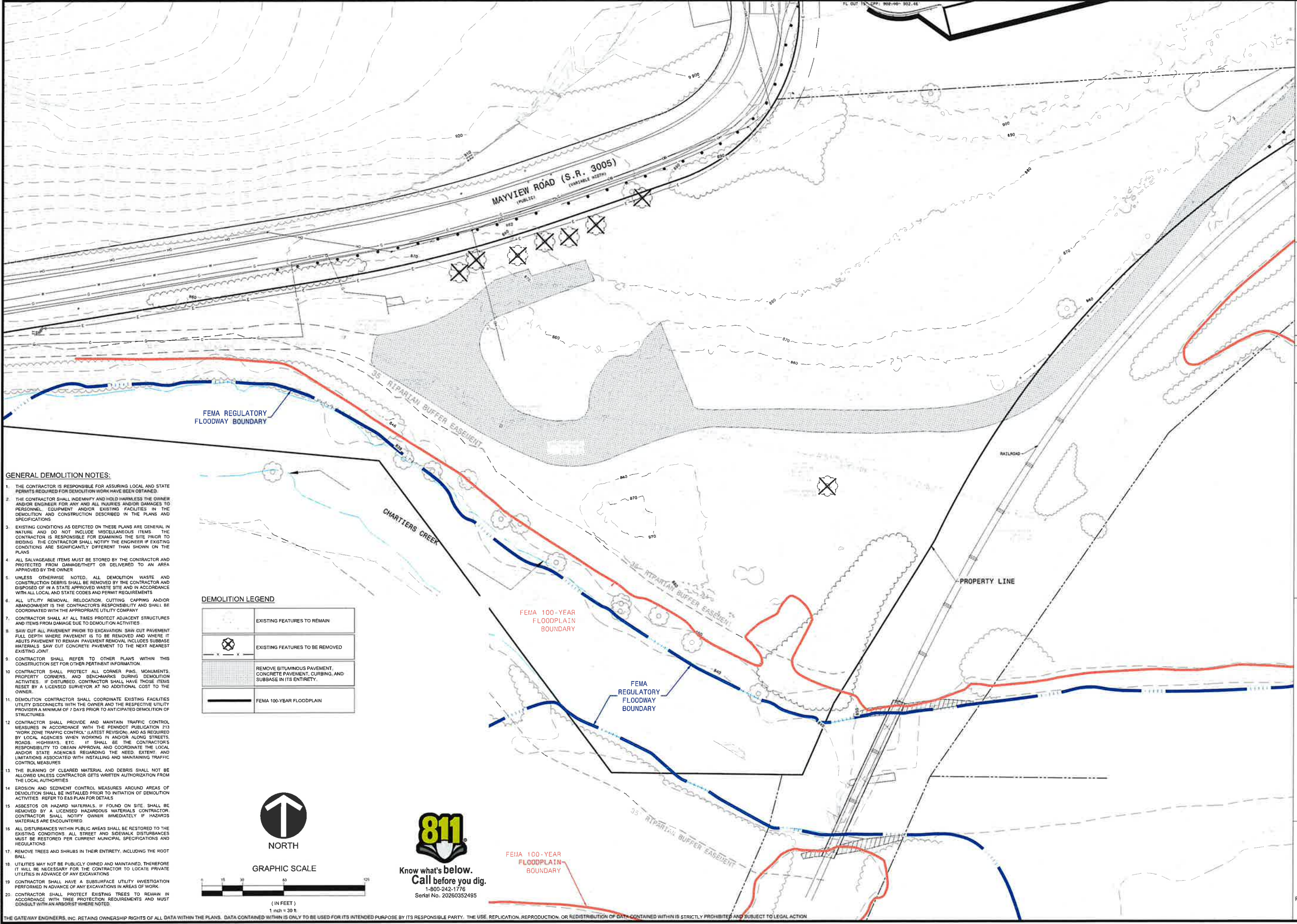
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HASTINGS
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
MAYVIEW ROAD
PITTSBURGH, PA 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

COVER SHEET
Project Number: 18927-0096
Drawing Scale: NTS
Date Issued: FEB. 2026
Index Number:
Drawn By: CRS
Checked By: DMH
Project Manager: DMH
C000

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GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK HAVE BEEN OBTAINED.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL IN NATURE AND DO NOT INCLUDE MISCELLANEOUS ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING THE SITE PRIOR TO BIDDING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF EXISTING CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN SHOWN ON THE PLANS.
4. ALL SALVAGEABLE ITEMS MUST BE STORED BY THE CONTRACTOR AND PROTECTED FROM DAMAGE/THEFT OR DELIVERED TO AN AREA APPROVED BY THE OWNER.
5. UNLESS OTHERWISE NOTED, ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
7. CONTRACTOR SHALL AT ALL TIMES PROTECT ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
8. SAW CUT ALL PAVEMENT PRIOR TO EXCAVATION. SAW CUT PAVEMENT FULL DEPTH WHERE PAVEMENT IS TO BE REMOVED AND WHERE IT ABUTS PAVEMENT TO REMAIN. PAVEMENT REMOVAL INCLUDES SUBBASE MATERIALS. SAW CUT CONCRETE PAVEMENT TO THE NEXT NEAREST EXISTING JOINT.
9. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
10. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE THOSE ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
11. DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH THE OWNER AND THE RESPECTIVE UTILITY PROVIDER A MINIMUM OF 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
12. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE PENNDOT PUBLICATION 213 "WORK ZONE TRAFFIC CONTROL" (LATEST REVISION) AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE THE LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
13. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
14. EROSION AND SEDIMENT CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO EAS PLAN FOR DETAILS.
15. ASBESTOS OR HAZARD MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
16. ALL DISTURBANCES WITHIN PUBLIC AREAS SHALL BE RESTORED TO THE EXISTING CONDITIONS. ALL STREET AND SIDEWALK DISTURBANCES MUST BE RESTORED PER CURRENT MUNICIPAL SPECIFICATIONS AND REGULATIONS.
17. REMOVE TREES AND SHRUBS IN THEIR ENTIRETY, INCLUDING THE ROOT BALL.
18. UTILITIES MAY NOT BE PUBLICLY OWNED AND MAINTAINED, THEREFORE IT WILL BE NECESSARY FOR THE CONTRACTOR TO LOCATE PRIVATE UTILITIES IN ADVANCE OF ANY EXCAVATIONS.
19. CONTRACTOR SHALL HAVE A SUBSURFACE UTILITY INVESTIGATION PERFORMED IN ADVANCE OF ANY EXCAVATIONS IN AREAS OF WORK.
20. CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN IN ACCORDANCE WITH TREE PROTECTION REQUIREMENTS AND MUST CONSULT WITH AN ARBORIST WHERE NOTED.

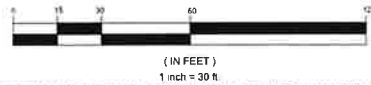
DEMOLITION LEGEND

	EXISTING FEATURES TO REMAIN
	EXISTING FEATURES TO BE REMOVED
	REMOVE BITUMINOUS PAVEMENT, CONCRETE PAVEMENT, CURBING, AND SUBBASE IN ITS ENTIRETY.
	FEMA 100-YEAR FLOODPLAIN



NORTH

GRAPHIC SCALE



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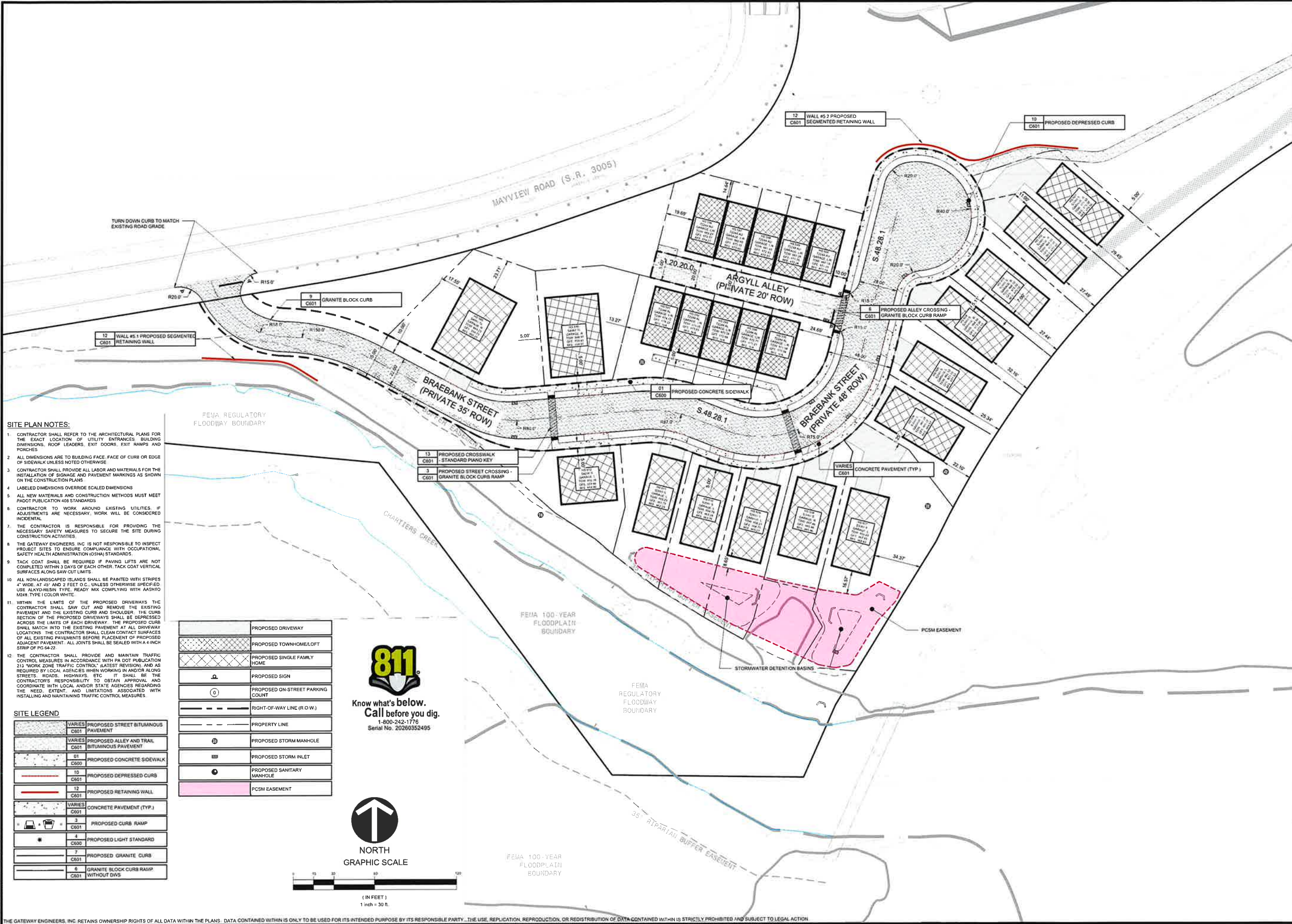
HASTINGS
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
MAYVIEW ROAD
PITTSBURGH, PA 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
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LANCASTER, PA 17603

SITE PLAN

Project Number: 19927-0096
Drawing Scale: 1" = 30'
Date Issued: FEB 2026
Index Number: -
Drawn By: CRS
Checked By: DMH
Project Manager: DMH

C100



SITE PLAN NOTES:

- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- LABELLED DIMENSIONS OVERRIDE SCALED DIMENSIONS.
- ALL NEW MATERIALS AND CONSTRUCTION METHODS MUST MEET PDOT PUBLICATION 408 STANDARDS.
- CONTRACTOR TO WORK AROUND EXISTING UTILITIES. IF ADJUSTMENTS ARE NECESSARY, WORK WILL BE CONSIDERED INCIDENTAL.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY SAFETY MEASURES TO SECURE THE SITE DURING CONSTRUCTION ACTIVITIES.
- THE GATEWAY ENGINEERS, INC IS NOT RESPONSIBLE TO INSPECT PROJECT SITES TO ENSURE COMPLIANCE WITH OCCUPATIONAL SAFETY HEALTH ADMINISTRATION (OSHA) STANDARDS.
- TACK COAT SHALL BE REQUIRED IF PAVING LIFTS ARE NOT COMPLETED WITHIN 3 DAYS OF EACH OTHER. TACK COAT VERTICAL SURFACES ALONG SAW CUT LIMITS.
- ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE AT 45° AND 2 FEET O.C. UNLESS OTHERWISE SPECIFIED. USE ALKYLID-RESIN TYPE, READY MIX COMPLYING WITH AASHTO M248 TYPE I COLOR WHITE.
- WITHIN THE LIMITS OF THE PROPOSED DRIVEWAYS THE CONTRACTOR SHALL SAW CUT AND REMOVE THE EXISTING PAVEMENT AND THE EXISTING CURB AND SHOULDER. THE CURB SECTION OF THE PROPOSED DRIVEWAYS SHALL BE DEPRESSED ACROSS THE LIMITS OF EACH DRIVEWAY. THE PROPOSED CURB SHALL MATCH INTO THE EXISTING PAVEMENT AT ALL DRIVEWAY LOCATIONS. THE CONTRACTOR SHALL CLEAN CONTACT SURFACES OF ALL EXISTING PAVEMENTS BEFORE PLACEMENT OF PROPOSED ADJACENT PAVEMENT. ALL JOINTS SHALL BE SEALED WITH A 4-INCH STRIP OF PG 54-22.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PA DOT PUBLICATION 213 "WORK ZONE TRAFFIC CONTROL" (LATEST REVISION) AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.

SITE LEGEND

VARIES C601	PROPOSED STREET BITUMINOUS PAVEMENT
VARIES C601	PROPOSED ALLEY AND TRAIL BITUMINOUS PAVEMENT
01 C600	PROPOSED CONCRETE SIDEWALK
10 C601	PROPOSED DEPRESSED CURB
12 C601	PROPOSED RETAINING WALL
VARIES C601	CONCRETE PAVEMENT (TYP.)
3 C601	PROPOSED CURB RAMP
4 C600	PROPOSED LIGHT STANDARD
7 C601	PROPOSED GRANITE CURB
6 C601	GRANITE BLOCK CURB RAMP WITHOUT DIVS

[Pattern]	PROPOSED DRIVEWAY
[Pattern]	PROPOSED TOWNHOME/LOFT
[Pattern]	PROPOSED SINGLE FAMILY HOME
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ON-STREET PARKING COUNT
[Line]	RIGHT-OF-WAY LINE (R.O.W.)
[Line]	PROPERTY LINE
[Symbol]	PROPOSED STORM MANHOLE
[Symbol]	PROPOSED STORM INLET
[Symbol]	PROPOSED SANITARY MANHOLE
[Pattern]	PCSM EASEMENT

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 Plot User: dmh

Date	REVISION RECORD
03/14/2024	01 RESPONSE TO TWP COMMENTS
03/29/2024	02 REVISED PLAN SET
04/09/2024	03 REVISED PLAN SET
05/14/2024	04 REVISED PLAN SET
05/21/2024	05 REVISED PLAN SET
	06
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SITE LEGEND
--- DEVELOPMENT PHASE LIMITS

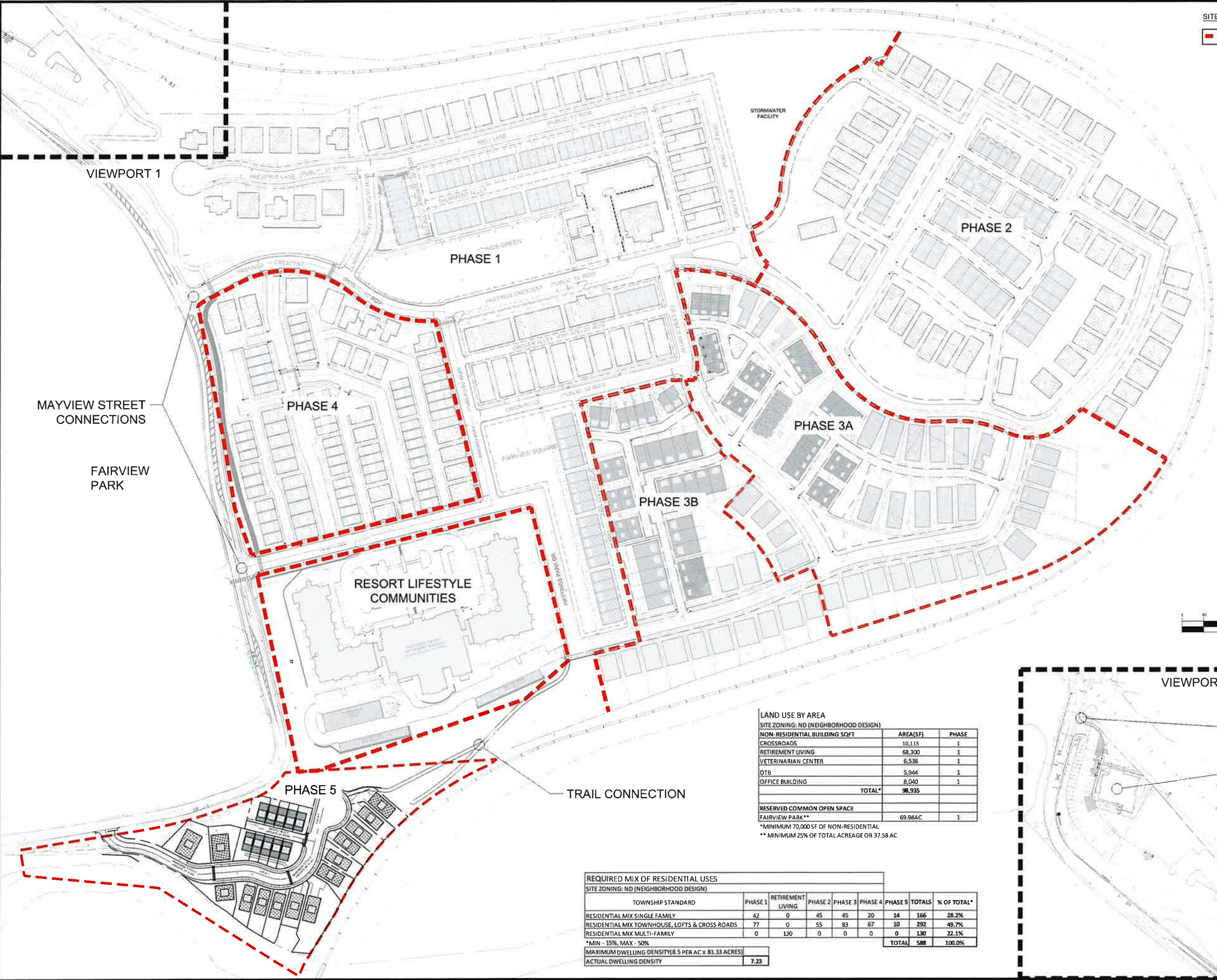


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NORTH

GRAPHIC SCALE



LAND USE BY AREA
SITE ZONING: ND (NEIGHBORHOOD DESIGN)

NON-RESIDENTIAL BUILDING SQFT	AREA(SF)	PHASE
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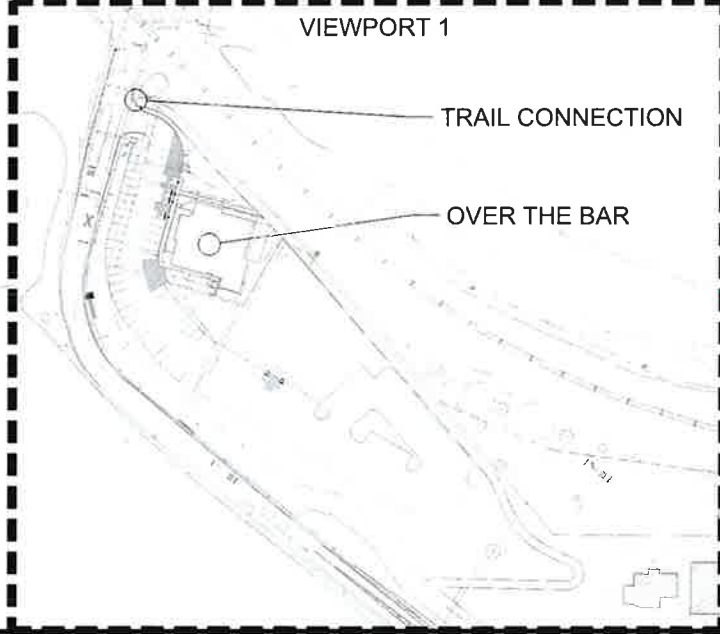
RESERVED COMMON OPEN SPACE	AREA(SF)	PHASE
FAIRVIEW PARK**	69,98AC	1

* MINIMUM 70,000 SF OF NON-RESIDENTIAL
** MINIMUM 25% OF TOTAL ACREAGE OR 37.58 AC

REQUIRED MIX OF RESIDENTIAL USES
SITE ZONING: ND (NEIGHBORHOOD DESIGN)

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MAXIMUM DWELLING DENSITY (8.5 PER AC X 81.33 ACRES)
ACTUAL DWELLING DENSITY: 7.23



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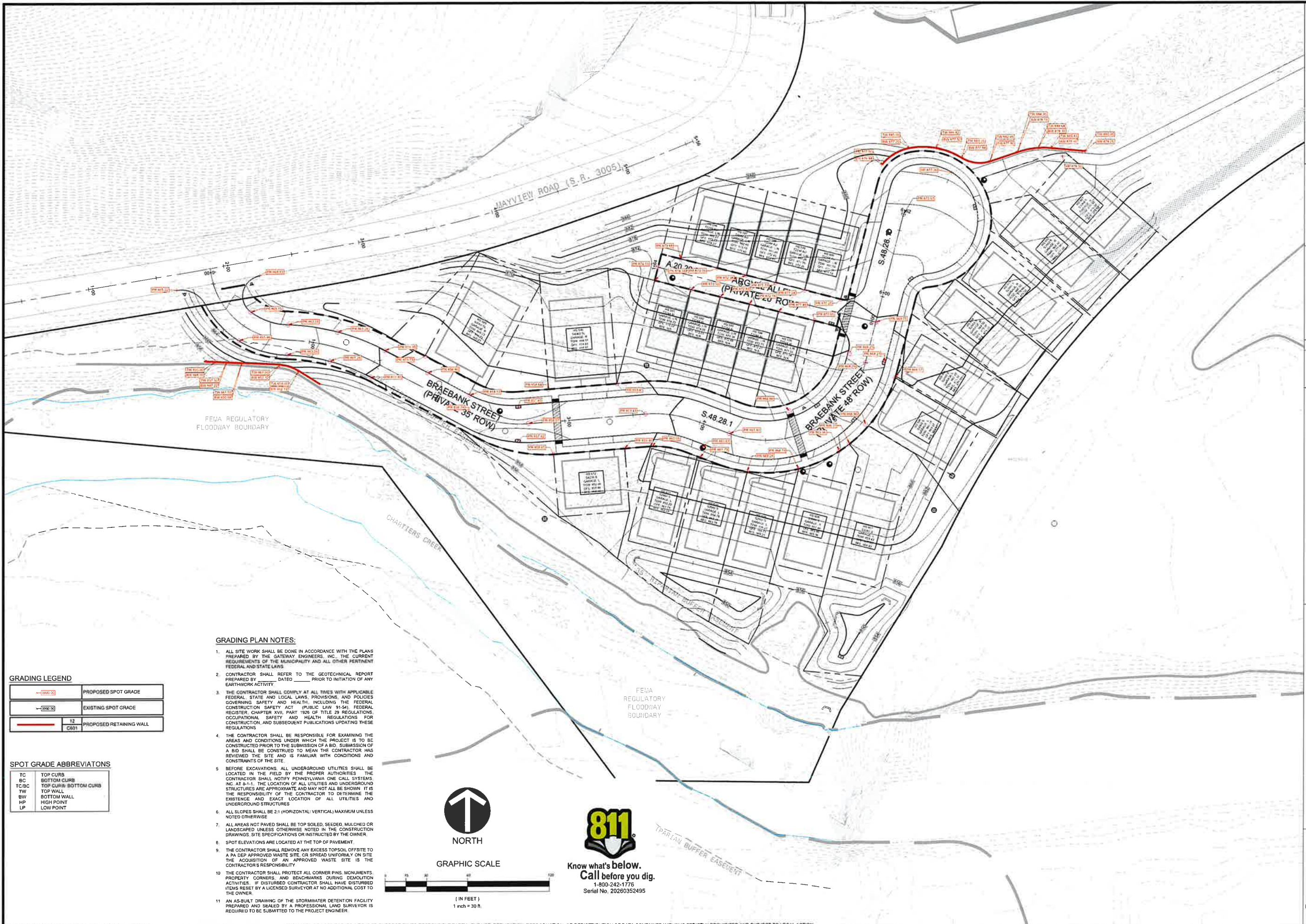
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GRADING PLAN

Project Number: 18927-0096
Drawing Scale: 1" = 30'
Date Issued: FEB 2026
Index Number:
Drawn By: CRS
Checked By: DMH
Project Manager: DMH

C200



GRADING PLAN NOTES:

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY THE GATEWAY ENGINEERS, INC., THE CURRENT REQUIREMENTS OF THE MUNICIPALITY AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED BY _____ DATED _____ PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATIONS, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 811. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- ALL SLOPES SHALL BE 2:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
- ALL AREAS NOT PAVED SHALL BE TOP SOLED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS. SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
- SPOT ELEVATIONS ARE LOCATED AT THE TOP OF PAVEMENT.
- THE CONTRACTOR SHALL REMOVE ANY EXCESS TOPSOIL OFFSITE TO A PA DEP APPROVED WASTE SITE, OR SPREAD UNIFORMLY ON SITE. THE ACQUISITION OF AN APPROVED WASTE SITE IS THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- AN AS-BUILT DRAWING OF THE STORMWATER DETENTION FACILITY PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR IS REQUIRED TO BE SUBMITTED TO THE PROJECT ENGINEER.

GRADING LEGEND

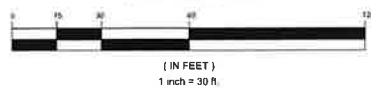
	PROPOSED SPOT GRADE
	EXISTING SPOT GRADE
	PROPOSED RETAINING WALL

SPOT GRADE ABBREVIATIONS

TC	TOP CURB
BC	BOTTOM CURB
TC/BC	TOP CURB/ BOTTOM CURB
TW	TOP WALL
BW	BOTTOM WALL
HP	HIGH POINT
LP	LOW POINT



GRAPHIC SCALE



811
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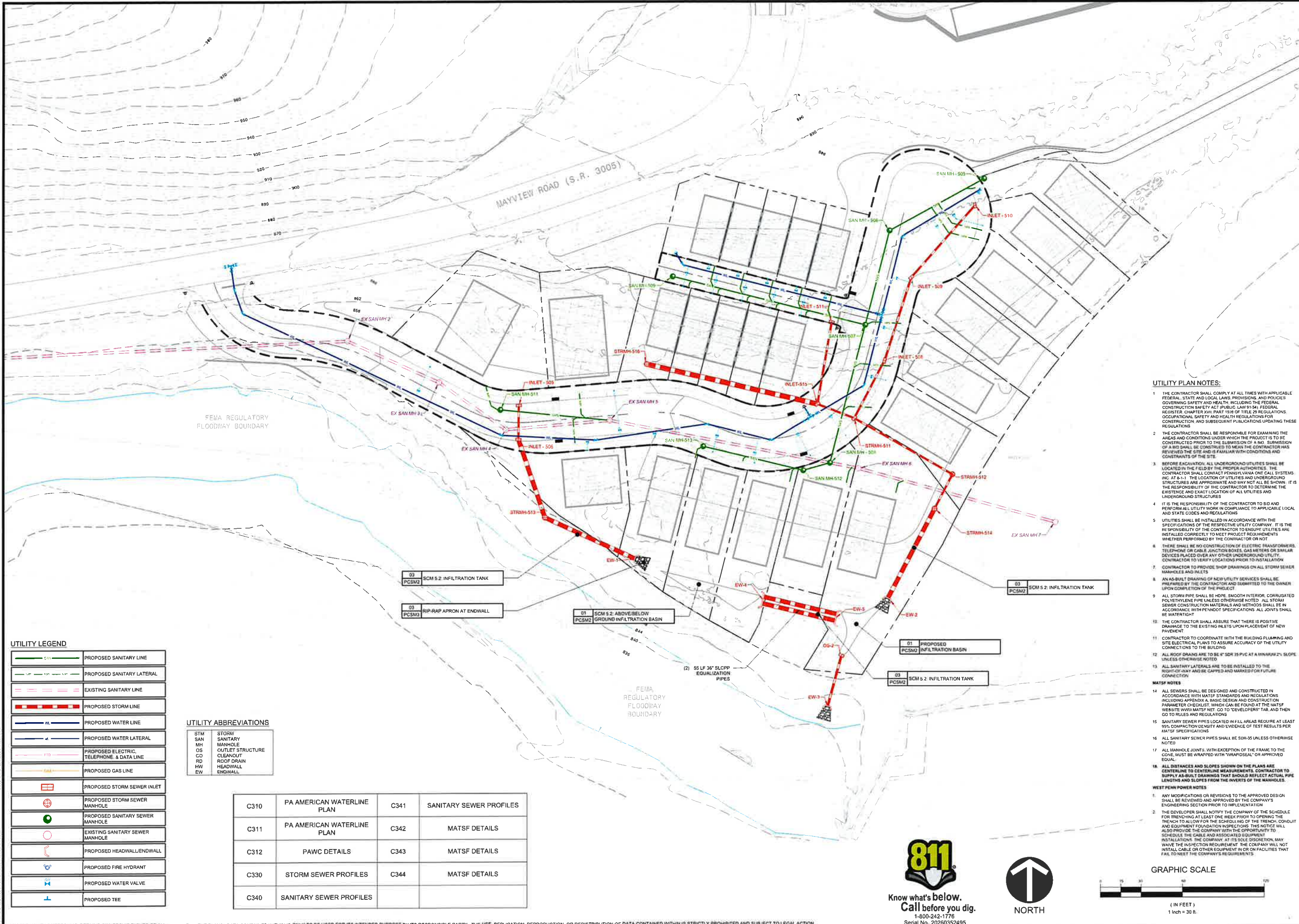
REVISION RECORD

No.	Date	By	Check	Reason

HASTINGS
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
PREPARED FOR:
CHARACTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

UTILITY PLAN
Project Number: 18927-0096
Drawing Scale: 1" = 30'
Date Issued: FEB 2028
Index Number:
Drawn By: CRS
Checked By: DMH
Project Manager: ###
C300



- UTILITY PLAN NOTES:**
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 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 - BEFORE EXCAVATING, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL CONTACT PENNSYLVANIA ONE CALL SYSTEMS INC. AT 8-1-1. THE LOCATION OF UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
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 - UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
 - THERE SHALL BE NO CONSTRUCTION OF ELECTRIC TRANSFORMERS, TELEPHONE OR CABLE JUNCTION BOXES, GAS METERS OR SIMILAR DEVICES PLACED OVER ANY OTHER UNDERGROUND UTILITY. CONTRACTOR TO VERIFY LOCATIONS PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND INLETS.
 - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
 - ALL STORM PIPES SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATERTIGHT.
 - THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE EXISTING INLETS UPON PLACEMENT OF NEW PAVEMENT.
 - CONTRACTOR TO COORDINATE WITH THE BUILDING PLANNING AND SITE ELECTRICAL PLANS TO ASSURE ACCURACY OF THE UTILITY CONNECTIONS TO THE BUILDING.
 - ALL ROOF DRAINS ARE TO BE 4" SDR 35 PVC AT A MINIMUM 2% SLOPE, UNLESS OTHERWISE NOTED.
 - ALL SANITARY LATERALS ARE TO BE INSTALLED TO THE RIGHT-OF-WAY AND BE CAPPED AND MARKED FOR FUTURE CONNECTION.
- MATSF NOTES**
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 - SANITARY SEWER PIPES LOCATED IN FILL AREAS REQUIRE AT LEAST 95% COMPACTION DENSITY AND EVIDENCE OF TEST RESULTS PER MATSF SPECIFICATIONS.
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 - ALL DISTANCES AND SLOPES SHOWN ON THE PLANS ARE CENTERLINE TO CENTERLINE MEASUREMENTS. CONTRACTOR TO SUPPLY AS-BUILT DRAWINGS THAT SHOULD REFLECT ACTUAL PIPE LENGTHS AND SLOPES FROM THE INVERTS OF THE MANHOLES.
- WEST PENN POWER NOTES**
- ANY MODIFICATIONS OR REVISIONS TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE COMPANY'S ENGINEERING SECTION PRIOR TO IMPLEMENTATION.
 - THE DEVELOPER SHALL NOTIFY THE COMPANY OF THE SCHEDULE FOR TRENCHING AT LEAST ONE WEEK PRIOR TO OPENING THE TRENCH TO ALLOW FOR THE SCHEDULING OF THE TRENCH, CONDUIT AND EQUIPMENT FOUNDATION INSPECTIONS. THIS NOTICE WILL ALSO PROVIDE THE COMPANY WITH THE OPPORTUNITY TO SCHEDULE THE CABLE AND ASSOCIATED EQUIPMENT INSTALLATION. THE COMPANY, AT ITS SOLE DISCRETION, MAY WAIVE THE INSPECTION REQUIREMENT. THE COMPANY WILL NOT INSTALL CABLE OR OTHER EQUIPMENT IN OR ON FACILITIES THAT FAIL TO MEET THE COMPANY'S REQUIREMENTS.

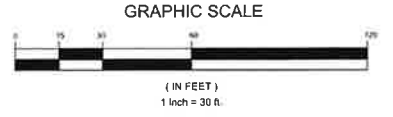
UTILITY LEGEND

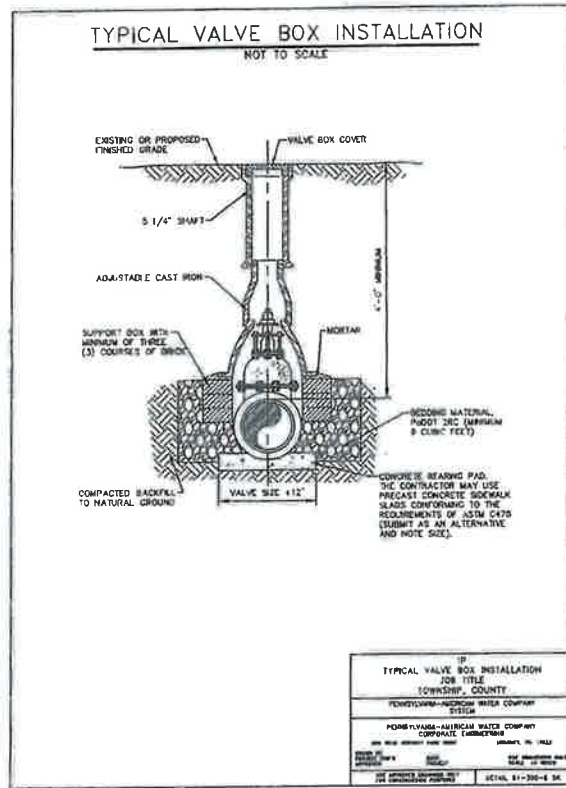
	PROPOSED SANITARY LINE
	PROPOSED SANITARY LATERAL
	EXISTING SANITARY LINE
	PROPOSED STORM LINE
	PROPOSED WATER LINE
	PROPOSED WATER LATERAL
	PROPOSED ELECTRIC, TELEPHONE, & DATA LINE
	PROPOSED GAS LINE
	PROPOSED STORM SEWER INLET
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED HEADWALL/ENDWALL
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED TEE

UTILITY ABBREVIATIONS

STM	STORM
SAN	SANITARY
MH	MANHOLE
OS	OUTLET STRUCTURE
CO	CLEANOUT
RD	ROOF DRAIN
HW	HEADWALL
EW	ENDWALL

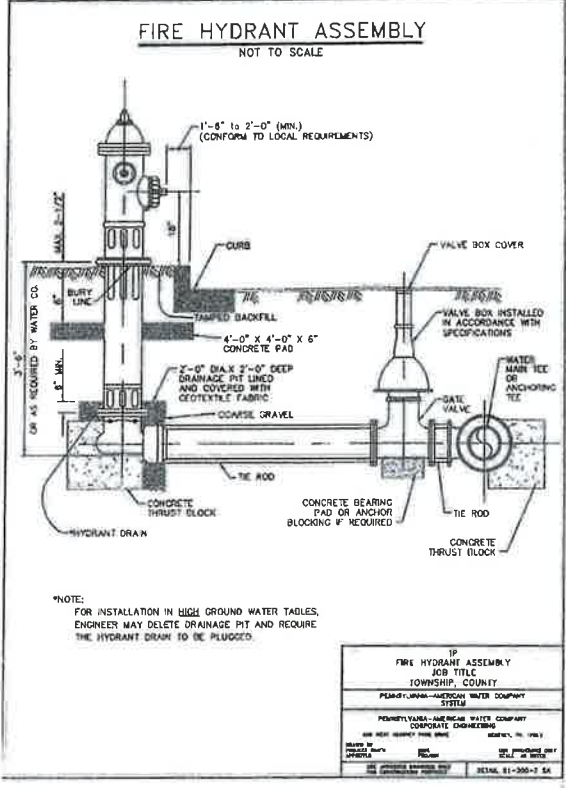
C310	PA AMERICAN WATERLINE PLAN	C341	SANITARY SEWER PROFILES
C311	PA AMERICAN WATERLINE PLAN	C342	MATSF DETAILS
C312	PAWC DETAILS	C343	MATSF DETAILS
C330	STORM SEWER PROFILES	C344	MATSF DETAILS
C340	SANITARY SEWER PROFILES		





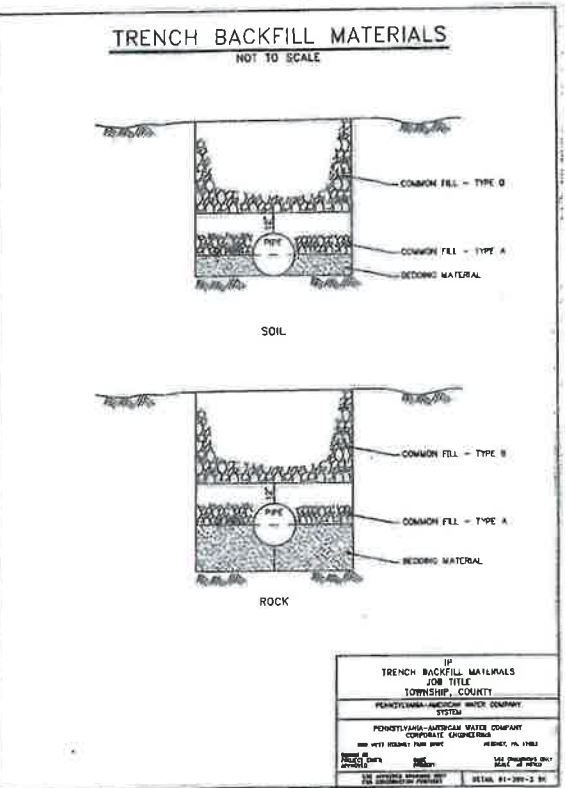
TYPICAL VALVE BOX INSTALLATION	
JOB TITLE	TOWNSHIP, COUNTY
DESIGNED BY	PENNSYLVANIA-WESTERN WATER COMPANY
CHECKED BY	PENNSYLVANIA-WESTERN WATER COMPANY
DATE	01/20/2024
SCALE	DETAIL 61-300-8 3/4

1 TYPICAL VALVE BOX INSTALLATION C606



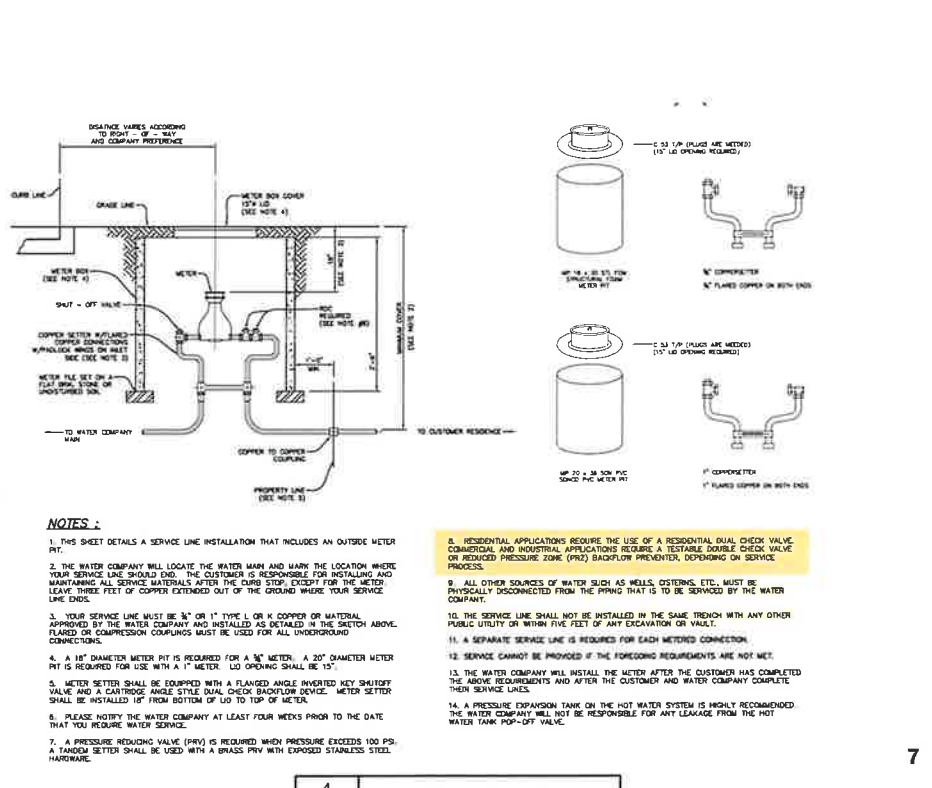
FIRE HYDRANT ASSEMBLY	
JOB TITLE	TOWNSHIP, COUNTY
DESIGNED BY	PENNSYLVANIA-WESTERN WATER COMPANY
CHECKED BY	PENNSYLVANIA-WESTERN WATER COMPANY
DATE	01/20/2024
SCALE	DETAIL 61-300-9 3/4

2 FIRE HYDRANT ASSEMBLY C606



TRENCH BACKFILL MATERIALS	
JOB TITLE	TOWNSHIP, COUNTY
DESIGNED BY	PENNSYLVANIA-WESTERN WATER COMPANY
CHECKED BY	PENNSYLVANIA-WESTERN WATER COMPANY
DATE	01/20/2024
SCALE	DETAIL 61-300-10 3/4

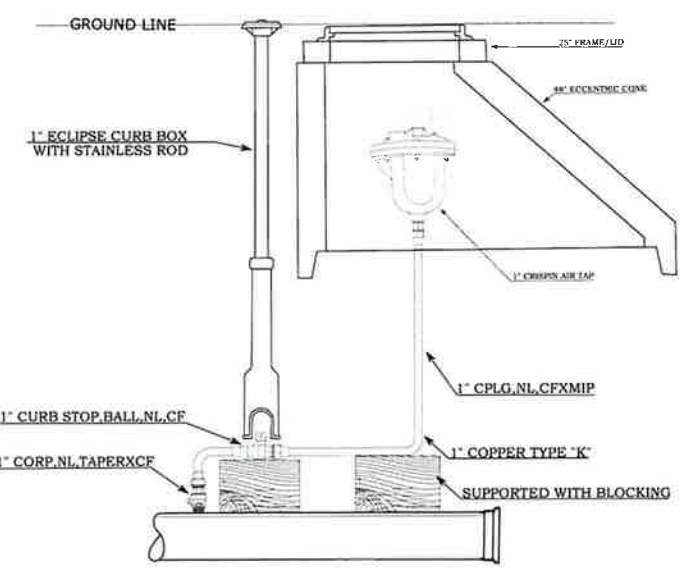
3 TRENCH BACKFILL MATERIALS C606



- NOTES:**
- THIS SHEET DETAILS A SERVICE LINE INSTALLATION THAT INCLUDES AN OUTSIDE METER PIT.
 - THE WATER COMPANY WILL LOCATE THE WATER MAIN AND MARK THE LOCATION WHERE YOUR SERVICE LINE SHOULD END. THE CUSTOMER IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SERVICE MATERIALS AFTER THE CURB STOP EXCEPT FOR THE METER LEAVE THREE FEET OF COPPER EXTENDED OUT OF THE GROUND WHERE YOUR SERVICE LINE ENDS.
 - YOUR SERVICE LINE MUST BE 3/4\"/>

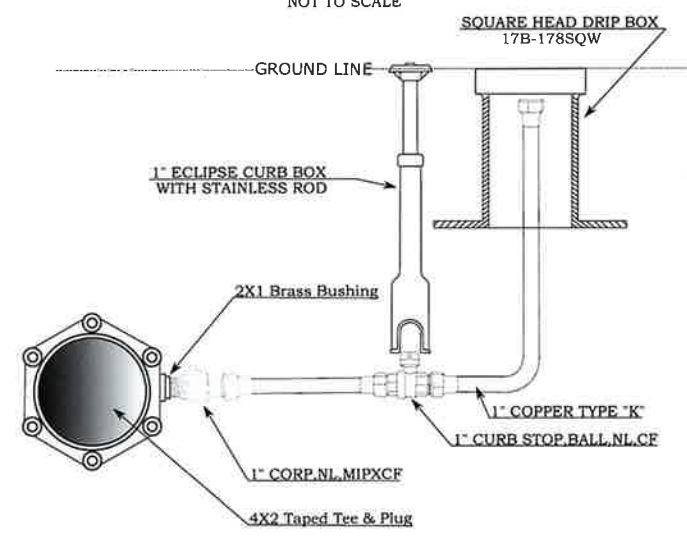
4 METER BOX INSTALLATION C606

TYPICAL 1\"/>

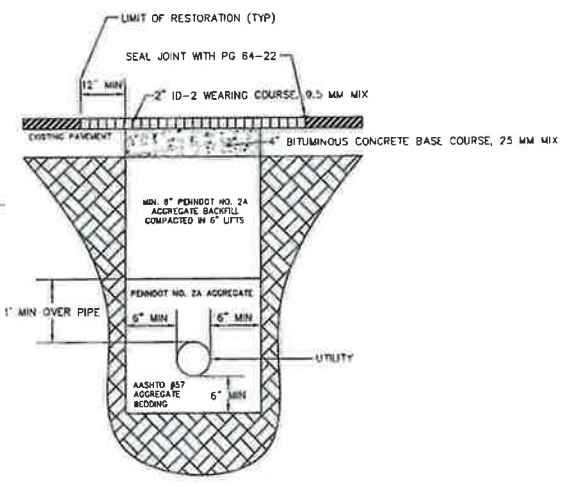


5 TYPICAL AIR RELEASE DETAIL C606

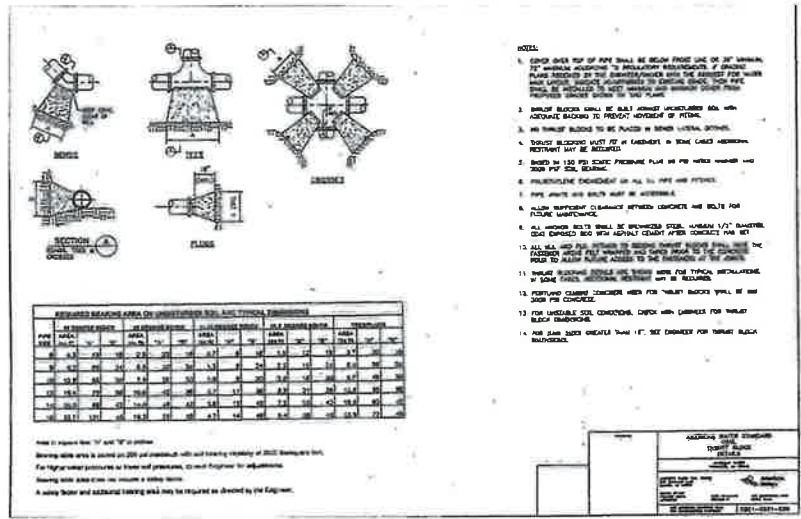
TYPICAL 1\"/>



6 TYPICAL BLOW OFF DETAIL C606



7 LATERAL TRENCH RESTORATION C606



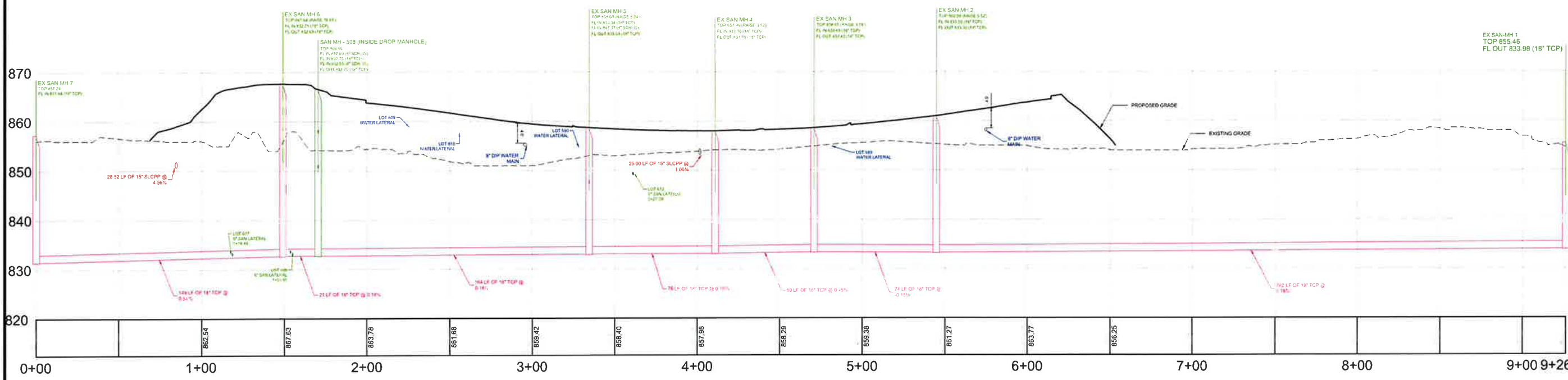
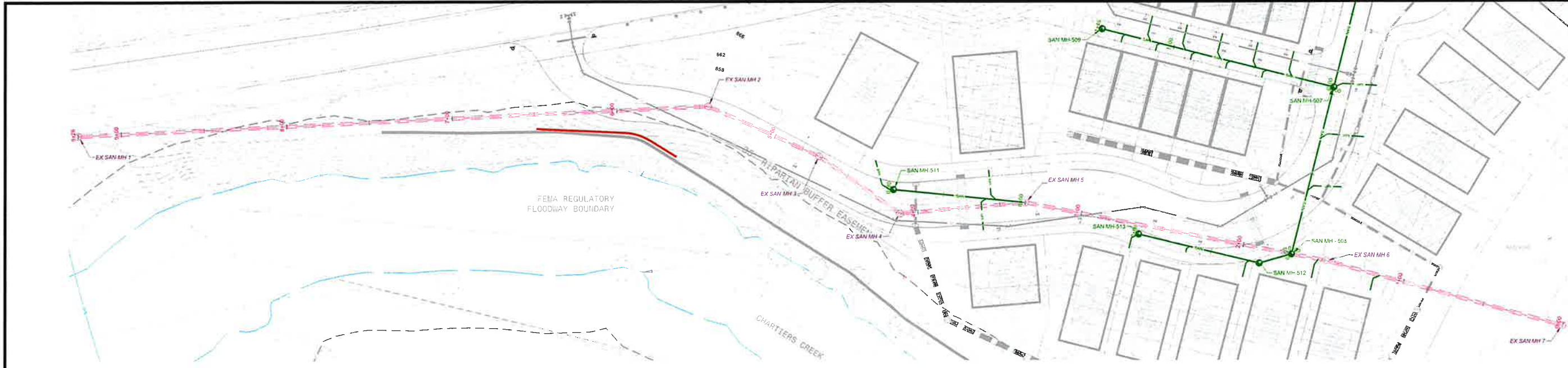
REVISION RECORD

No.	Date	Description
01		
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03		
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06		
07		
08		

HASTINGS
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
MAYVIEW ROAD
PITTSBURGH, PA 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

SANITARY PROFILES
Project Number: 18927-0096
Drawing Scale: AS NOTED
Date Issued: FEB 2026
Index Number: -
Drawn By: CRS
Checked By: DMH
Project Manager: DMH
C340



EXISTING SAN RUN PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 10'

UTILITY LEGEND

	PROPOSED SANITARY LINE		PROPOSED STORM SEWER INLET
	PROPOSED SANITARY LATERAL		PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM LINE		PROPOSED SANITARY SEWER MANHOLE
	PROPOSED WATER LINE		PROPOSED HEADWALL/ENDWALL
	PROPOSED WATER LATERAL		PROPOSED FIRE HYDRANT
	PROPOSED ELECTRIC, TELEPHONE, & DATA LINE		PROPOSED WATER VALVE
	PROPOSED GAS LINE		PROPOSED TEE
	EXISTING SANITARY LINE		EXISTING SANITARY SEWER MANHOLE

UTILITY PLAN NOTES:

- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
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MATSF NOTES

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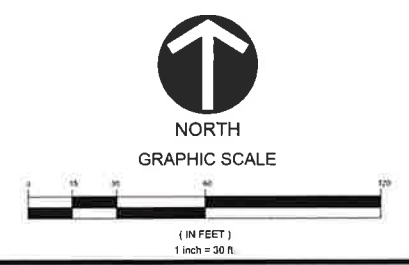
HOMESITE	STA FROM DS MH	DS MH
607	1+14	EX SAN MH 7
608	0+03	EX SAN MH 6

PROFILE NOTES:

- THE LENGTHS (LF) SHOWN ON THIS PLAN ARE CENTERLINE STRUCTURE TO CENTERLINE STRUCTURE AND DO NOT ACCOUNT FOR SLOPES OR DEFINE ACTUAL LENGTHS OF PIPE.

PROFILE STRUCTURE ABBREVIATIONS

STM	STORM
SAN	SANITARY
MH	MANHOLE
OS	OUTLET STRUCTURE
CO	CLEANOUT
HW	HEADWALL
EW	ENDWALL



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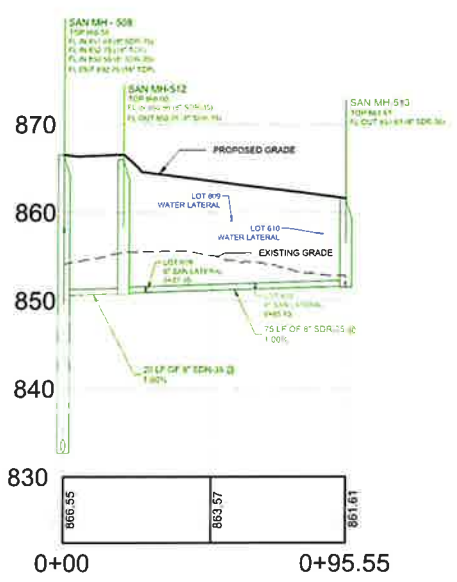
REVISION RECORD

No.	Date	Description
01		
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HASTINGS
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
MAYVIEW ROAD
PITTSBURGH, PA 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

SANITARY PROFILES
Project Number: 18927-0096
Drawing Scale: AS NOTED
Date Issued: FEB 2026
Index Number:
Drawn By: CRS
Checked By: DMH
Project Manager: DMH
C341



SAN MH-512 TO SAN MH-508 PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 10'

UTILITY LEGEND

	PROPOSED SANITARY LINE
	PROPOSED SANITARY LATERAL
	PROPOSED STORM LINE
	PROPOSED WATER LINE
	PROPOSED WATER LATERAL
	PROPOSED ELECTRIC, TELEPHONE, & DATA LINE
	PROPOSED GAS LINE
	PROPOSED STORM SEWER INLET
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED HEADWALL/ENDWALL
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED TEE
	EXISTING SANITARY LINE
	EXISTING SANITARY SEWER MANHOLE

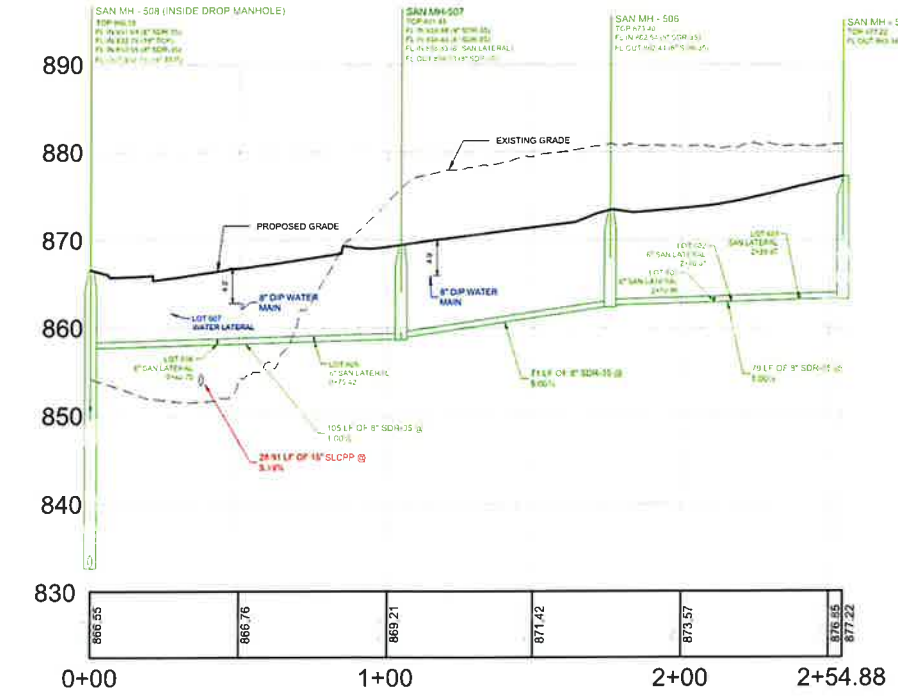
PROFILE NOTES:
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PROFILE STRUCTURE ABBREVIATIONS

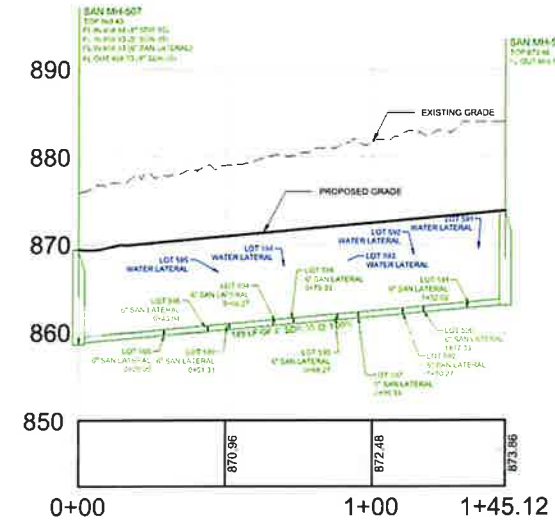
STM	STORM
SAN	SANITARY
MH	MANHOLE
OS	OUTLET STRUCTURE
CO	CLEANOUT
HW	HEADWALL
EW	ENDWALL

HOMESITE STA FROM DS MH DS MH

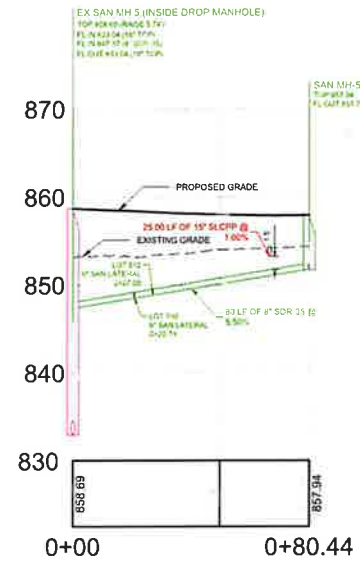
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590	0+97	EX SAN MH 5
591	0+00	SAN MH-509
592	1+22	SAN MH-507
593	1+00	SAN MH-507
594	0+78	SAN MH-507
595	0+50	SAN MH-507
596	1+13	SAN MH-507
597	0+91	SAN MH-507
598	0+89	SAN MH-507
599	0+47	SAN MH-507
600	0+24	SAN MH-507
601	0+00	SAN MH-505
602	0+40	SAN MH-506
603	0+35	SAN MH-506
604	0+00	SAN MH-507
605	0+71	SAN MH-508
606	0+38	SAN MH-508
609	0+04	SAN MH - 512
610	0+41	SAN MH - 512
611	0+00	SAN MH - 513
612	0+22	EX SAN MH 5



SAN MH-508 TO SAN MH-505 PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 10'



SAN MH-509 TO SAN MH-507 PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 10'



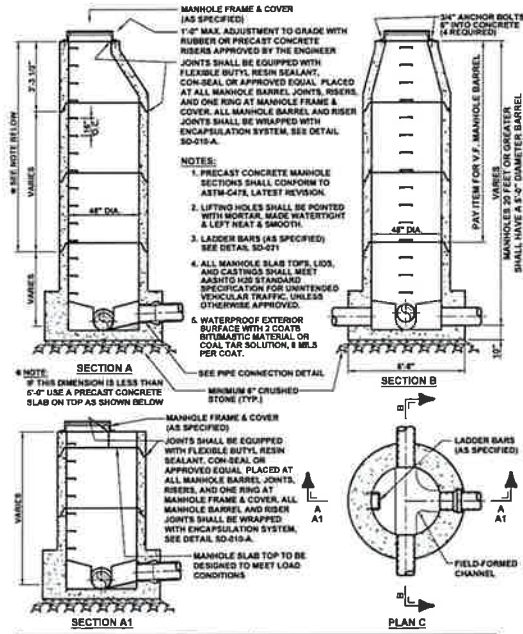
SAN MH-511 TO EX SAN MH PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 10'

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 - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL CONTACT PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 811. THE LOCATION OF UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE WITH APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
 - UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENGINE UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
 - THERE SHALL BE NO CONSTRUCTION OF ELECTRIC TRANSFORMERS, TELEPHONE OR CABLE JUNCTION BOXES, GAS METERS OR SIMILAR DEVICES PLACED OVER ANY OTHER UNDERGROUND UTILITY. CONTRACTOR TO VERIFY LOCATIONS PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND INLETS.
 - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
 - ALL STORM PIPE SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATERTIGHT.
 - THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE EXISTING INLETS UPON PLACEMENT OF NEW PAVEMENT.
 - CONTRACTOR TO COORDINATE WITH THE BUILDING PLUMBING AND SITE ELECTRICAL PLANS TO ASSURE ACCURACY OF THE UTILITY CONNECTIONS TO THE BUILDING.
 - ALL ROOF DRAINS ARE TO BE 6" SDR 35 PVC AT A MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED.
 - ALL SANITARY LATERALS ARE TO BE INSTALLED TO THE RIGHT-OF-WAY AND BE CAPPED AND MARKED FOR FUTURE CONNECTION.
- MATSF NOTES**
- ALL SEWERS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH MATSF STANDARDS AND REGULATIONS INCLUDING APPENDIX A, BASIC DESIGN AND CONSTRUCTION PARAMETER CHECKLIST, WHICH CAN BE FOUND AT THE MATSF WEBSITE WWW.MATSF.NET GO TO 'DEVELOPERS' TAB, AND THEN GO TO RULES AND REGULATIONS.
 - SANITARY SEWER PIPES LOCATED IN FILL AREAS REQUIRE AT LEAST 95% COMPACTION DENSITY AND EVIDENCE OF TEST RESULTS PER MATSF SPECIFICATIONS.
 - ALL SANITARY SEWER PIPES SHALL BE SDR-35 UNLESS OTHERWISE NOTED.
 - ALL MANHOLE JOINTS WITH EXCEPTION OF THE FRAME TO THE CONE, MUST BE WRAPPED WITH 'WRAP-OSEAL' OR APPROVED EQUAL.
 - ALL DISTANCES AND SLOPES SHOWN ON THE PLANS ARE CENTERLINE TO CENTERLINE MEASUREMENTS. CONTRACTOR TO SUPPLY AS-BUILT DRAWINGS THAT SHOULD REFLECT ACTUAL PIPE LENGTHS AND SLOPES FROM THE INVERTS OF THE MANHOLES.

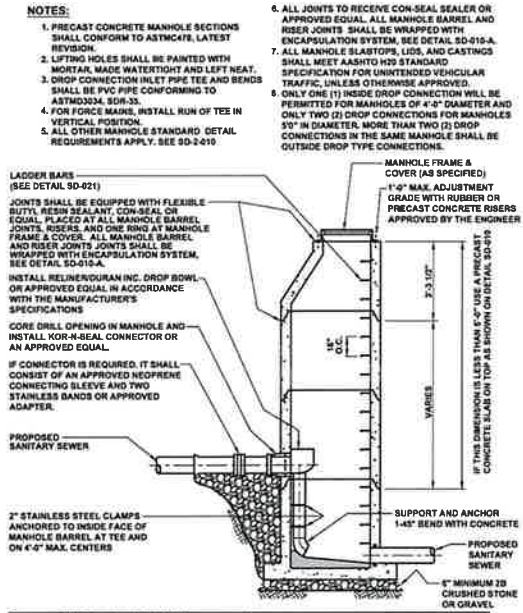
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NORTH
GRAPHIC SCALE
1" = 30.0'

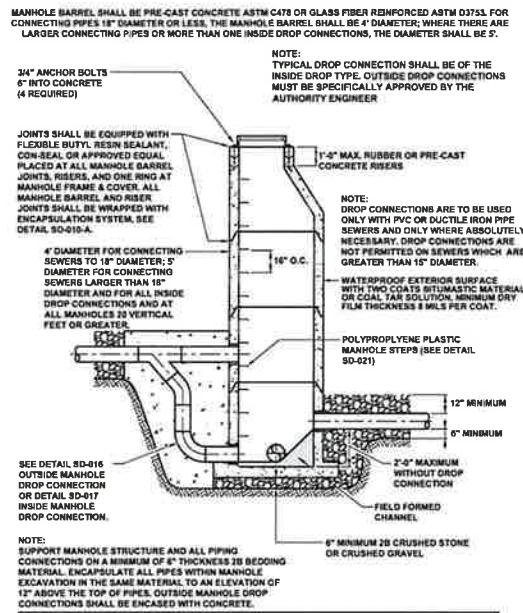
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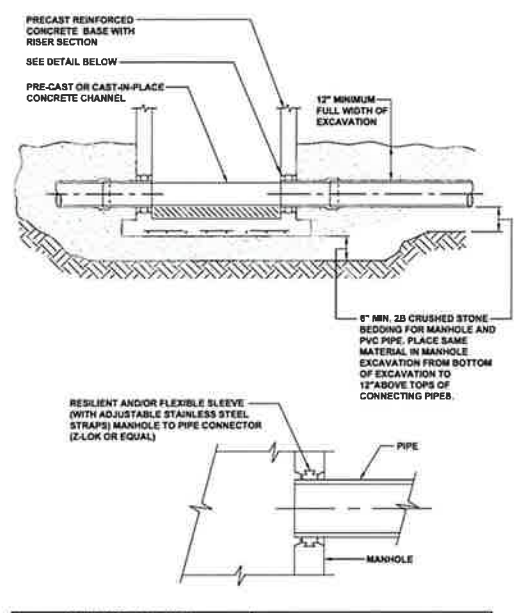
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900 Presto Sygan Road
Bridgeville, Pa 15017
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Standard Detail SD-010



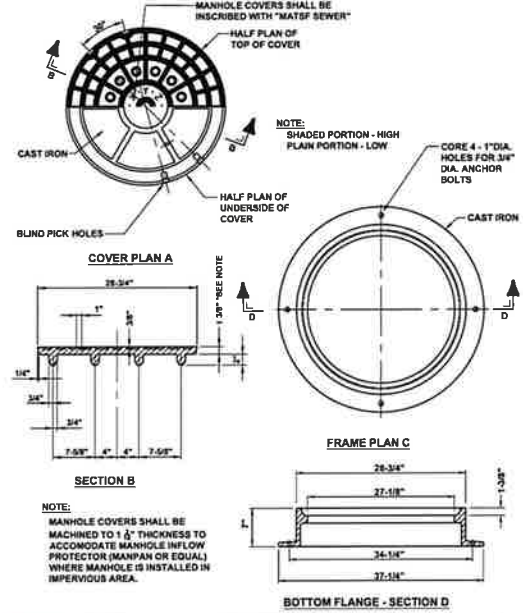
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Standard Detail SD-017



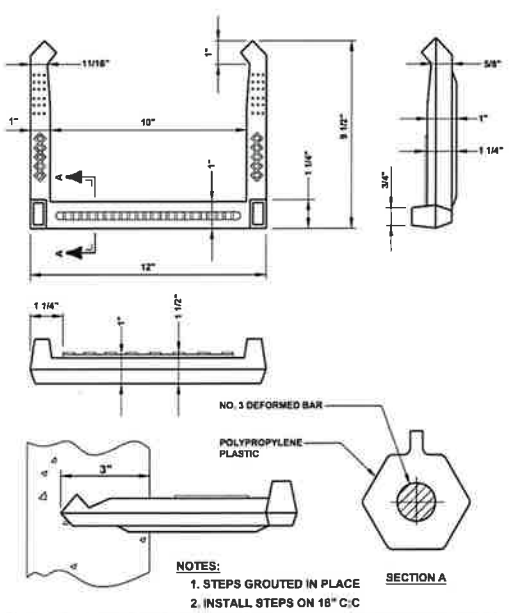
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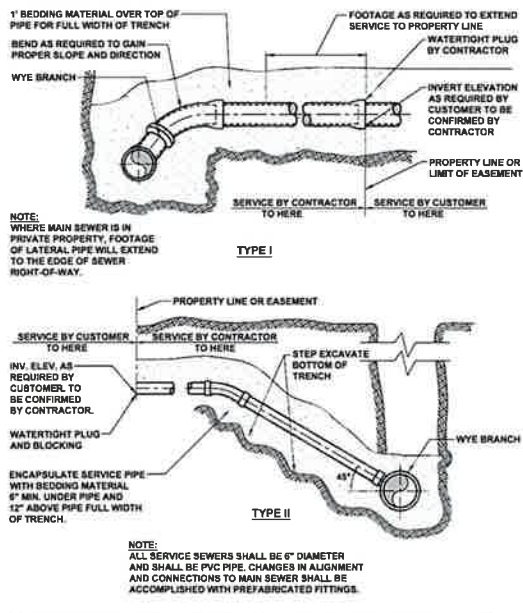
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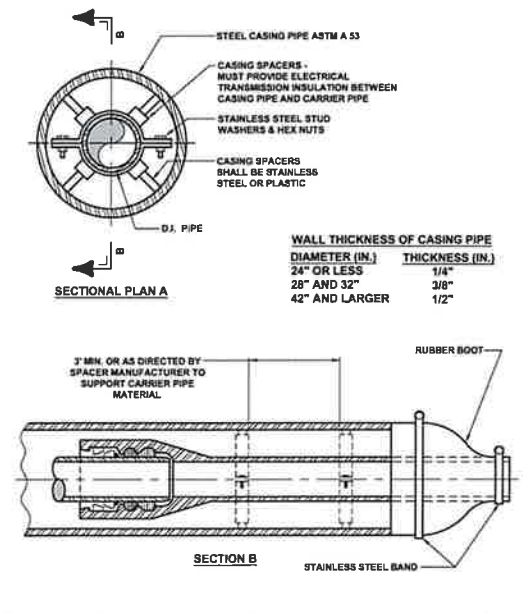
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900 Presto Sygan Road
Bridgeville, Pa 15017
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Municipal Authority Of The Township Of South Fayette
900 Presto Sygan Road
Bridgeville, Pa 15017
Not to scale January 2022
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Municipal Authority Of The Township Of South Fayette
900 Presto Sygan Road
Bridgeville, Pa 15017
Not to scale January 2022
Standard Detail SD-023



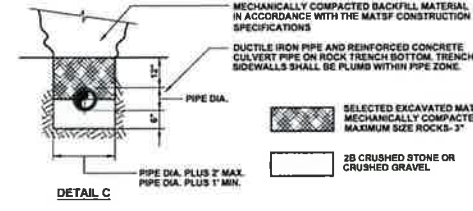
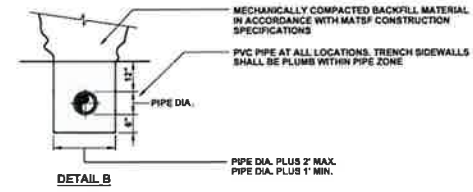
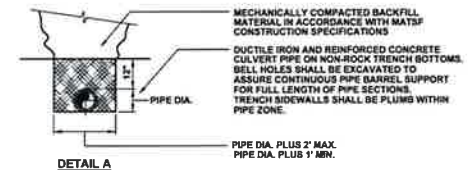
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900 Presto Sygan Road
Bridgeville, Pa 15017
Not to scale January 2022
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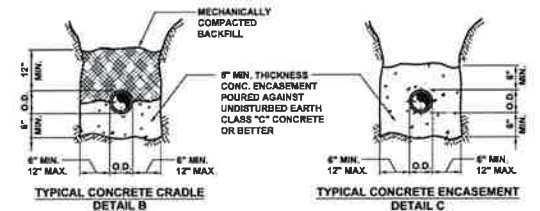
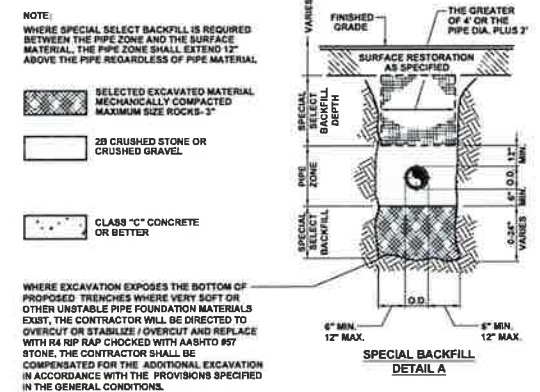
HASTINGS
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
MAYVIEW ROAD
PITTSBURGH, PA 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

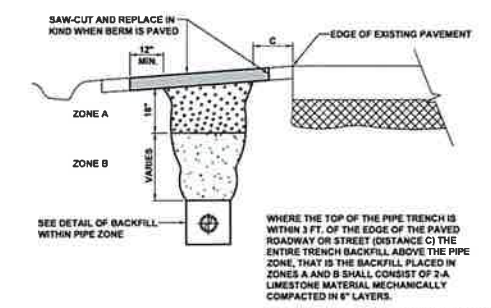
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Drawing Scale: N.T.S.
Date Issued: FEB 2026
Index Number:
Drawn By: CRS
Checked By: DMH
Project Manager: DMH
C342



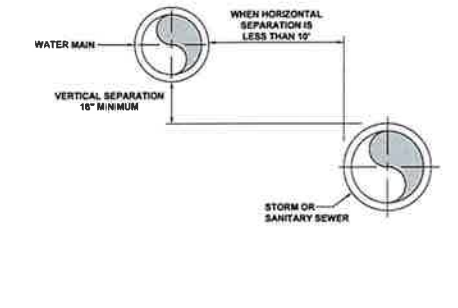
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Not to scale	January 2022
	Standard Detail SD-001



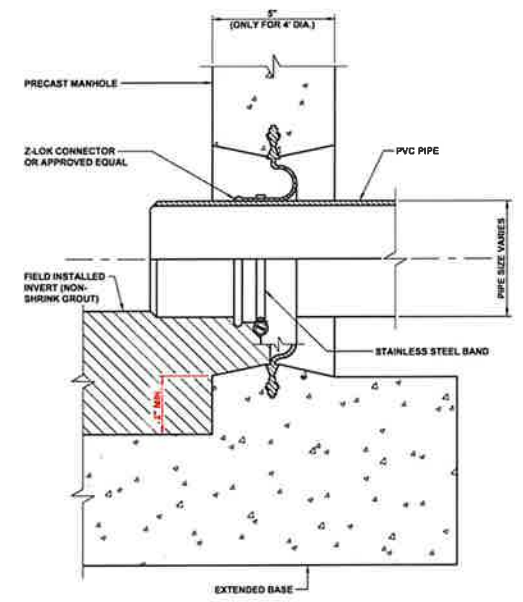
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Not to scale	January 2022
	Standard Detail SD-002



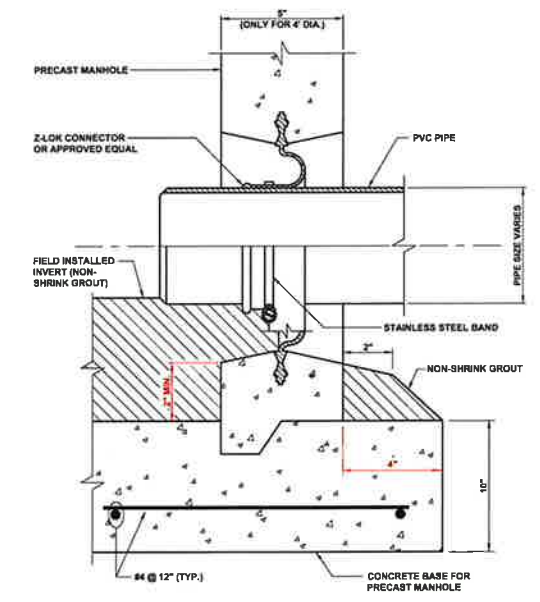
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Not to scale	January 2022
	Standard Detail SD-004



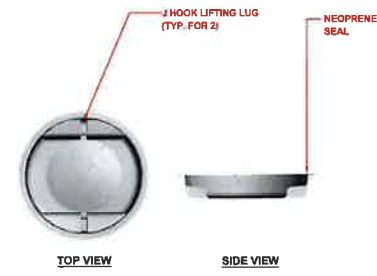
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Not to scale	January 2022
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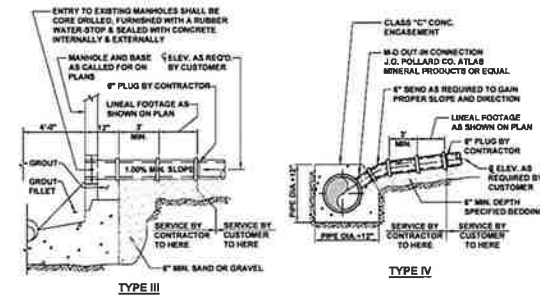
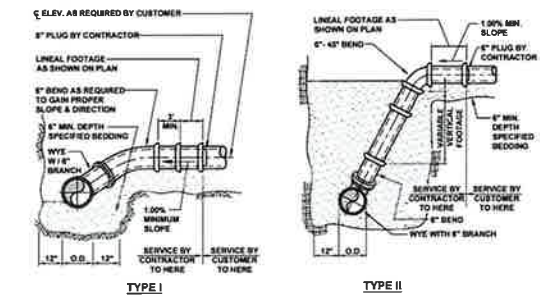
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	MANHOLE CONNECTION FOR PVC PIPE (PRE-CAST BASE)
Not to scale	January 2022
	Standard Detail SD-014



Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	MANHOLE CONNECTION FOR PVC PIPE (CAST-IN-PLACE BASE)
Not to scale	January 2022
	Standard Detail SD-015



Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	MANHOLE INFLOW PROTECTOR
Not to scale	January 2022
	Standard Detail SD-020



Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	SERVICE CONNECTIONS
Not to scale	January 2022
	Standard Detail SD-024

REVISION RECORD	Date	Description
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HASTINGS
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
MAYVIEW ROAD
PITTSBURGH, PA 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

MATSF DETAILS
Project Number: 19927-0096
Drawing Scale: N.T.S.
Date Issued: FEB 2026
Index Number: -
Drawn By: CRS
Checked By: DMH
Project Manager: DMH
C343

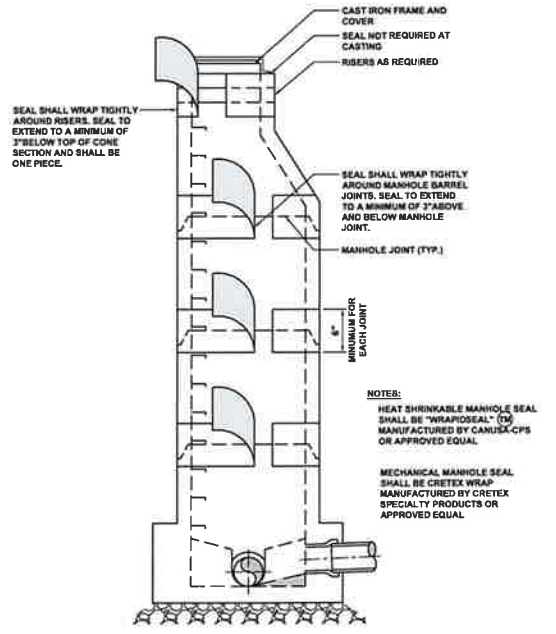
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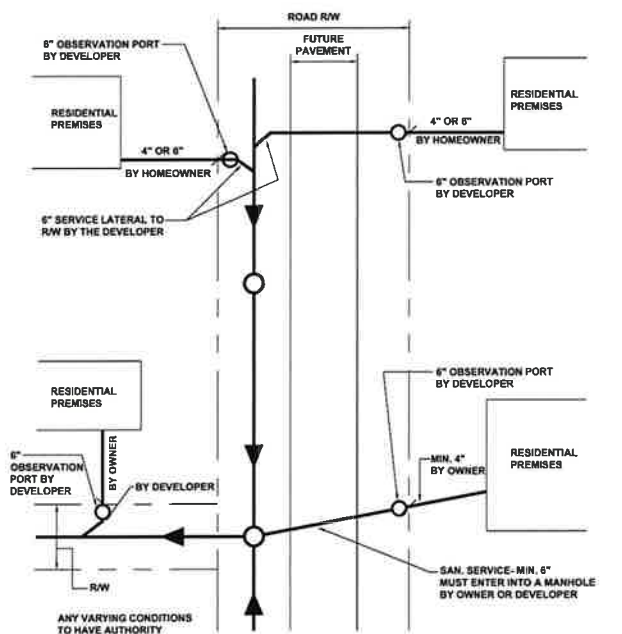
HASTINGS
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
HAYVIEW ROAD
PITTSBURGH, PA 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

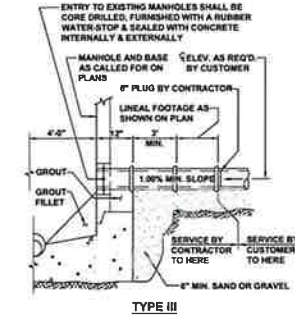
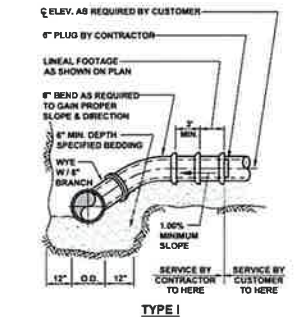
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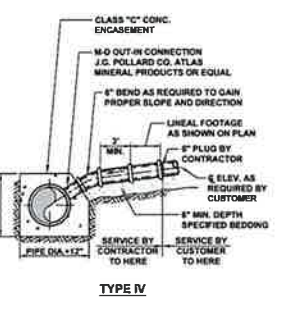
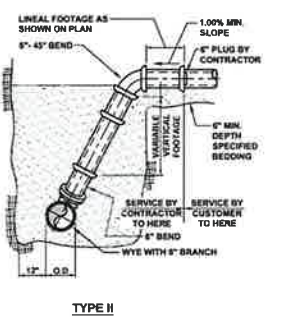
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Not to scale	January 2022
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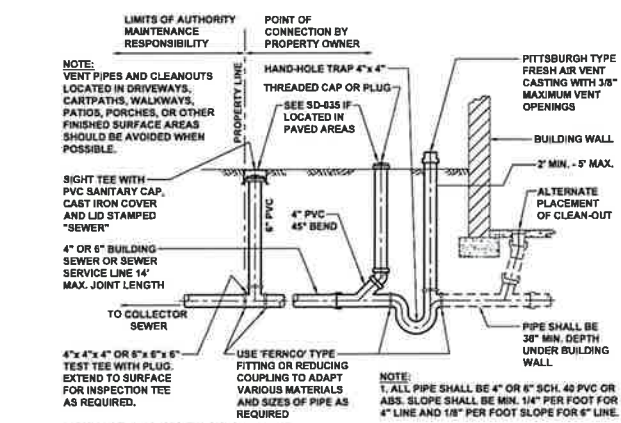
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Not to scale	January 2022
	Standard Detail SD-022



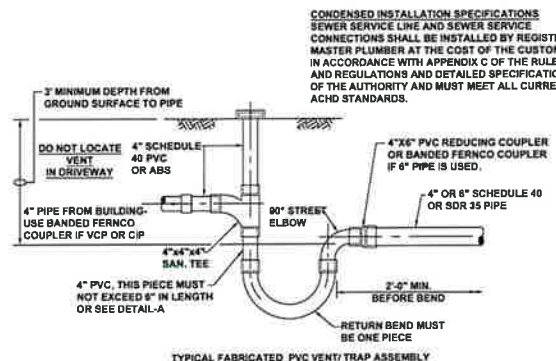
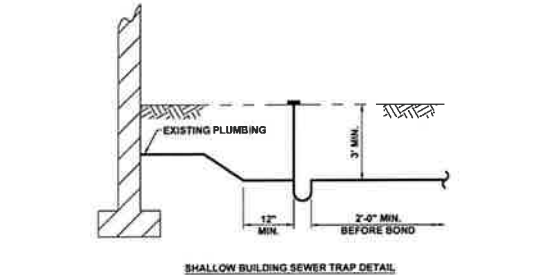
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Not to scale	January 2022
	Standard Detail SD-024



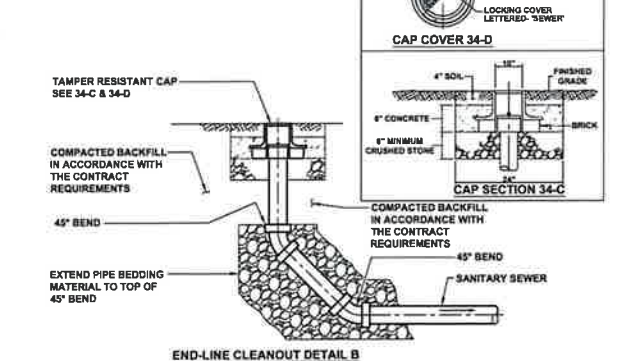
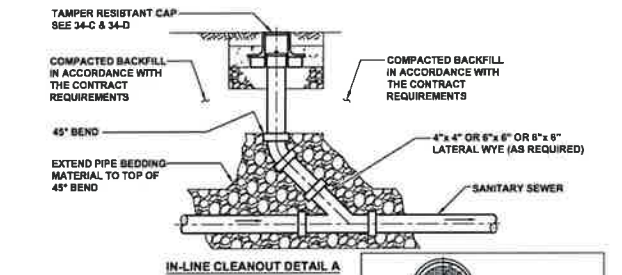
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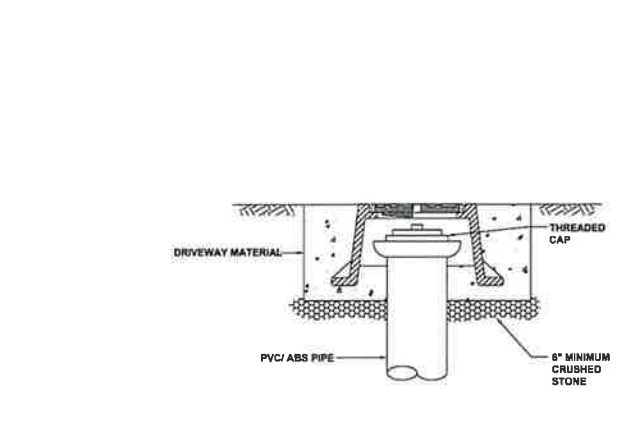
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Not to scale	January 2022
	Standard Detail SD-025



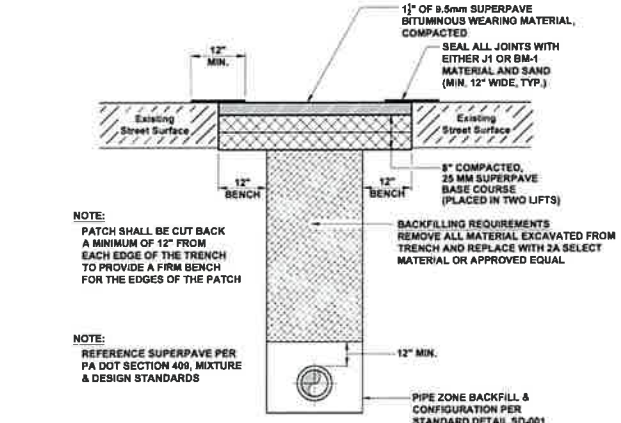
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	BUILDING SEWER TRAP DETAILS
Not to scale	January 2022
	Standard Detail SD-026



Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	MAIN LINE, IN-LINE, AND END LINE CLEANOUT FOR 6\"/>
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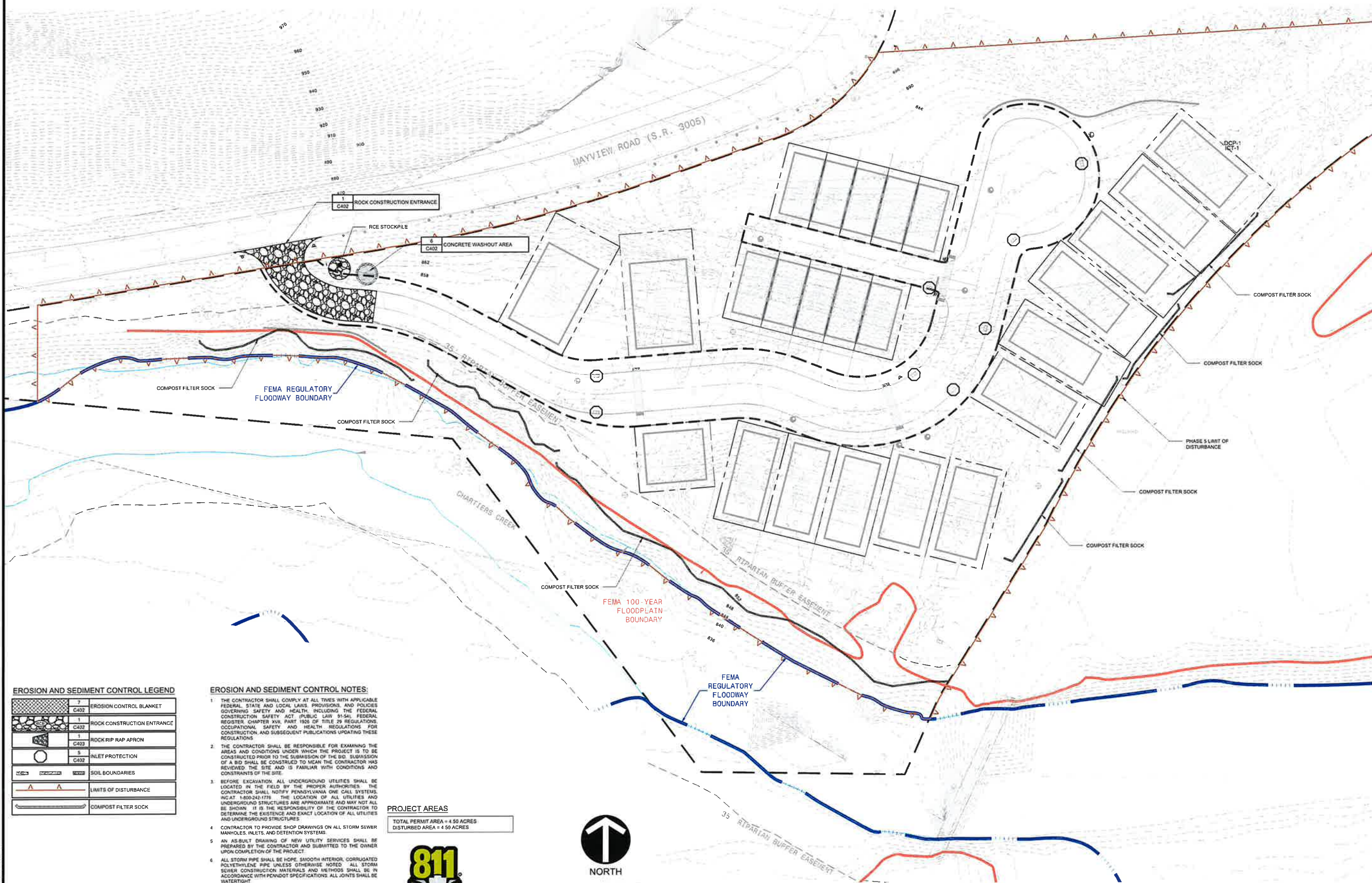
Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	LATERAL SITE TEE/CLEANOUT IN PAVED AREAS
Not to scale	January 2022
	Standard Detail SD-035



Municipal Authority Of The Township Of South Fayette 900 Presto Sygan Road Bridgeville, Pa 15017	TRENCH BACKFILL AND PAVEMENT REQUIREMENTS FOR TOWNSHIP ROADS
Not to scale	January 2022
	Standard Detail SD-005

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THIS PLAN IS FOR EROSION AND SEDIMENT CONTROL PURPOSES ONLY



EROSION AND SEDIMENT CONTROL LEGEND

	7 C402	EROSION CONTROL BLANKET
	1 C402	ROCK CONSTRUCTION ENTRANCE
	1 C403	ROCK RIP RAP APRON
	5 C402	INLET PROTECTION
		SOIL BOUNDARIES
		LIMITS OF DISTURBANCE
		COMPOST FILTER SOCK

EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVI, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
3. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
4. CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES, INLETS, AND DETENTION SYSTEMS.
5. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
6. ALL STORM PIPE SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATER TIGHT.
7. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
8. THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE INLETS UPON PLACEMENT OF NEW PAVEMENT.

PROJECT AREAS

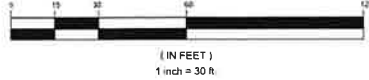
TOTAL PERMIT AREA = 4.50 ACRES
DISTURBED AREA = 4.50 ACRES



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HASTINGS
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
MAYVIEW ROAD
PITTSBURGH, PA 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

EROSION & SEDIMENT CONTROL PLANS
Project Number: 18927-0096
Drawing Scale: 1" = 30'
Date Issued: FEB 2026
Index Number: -
Drawn By: CRS
Checked By: DMH
Project Manager: DMH
C400

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STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES

- ALL EARTH DISTURBANCES INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EAS PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL NOTIFY ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE EAS PLAN PREPARED, THE PCSM PLAN PREPARED, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION, THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COME IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE EAS BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS EAS PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H 1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POISING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND HAZARDOUS AREAS MUST HAVE AN EAS PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-901 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM THE PROJECT SITE ONTO PUBLIC ROADS.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND REINSTITUTION MUST BE PERFORMED IMMEDIATELY IF THE EAS BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT EAS BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE PROVIDED UPON REQUEST OF THE REGULATORY AGENCY.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELLED OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO PLACEMENT AND MULCHING. FILL OUTLINES SHALL HAVE A MINIMUM 6 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. REFER TO GEOTECHNICAL REPORT AND CROSS SECTIONS.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SO, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS, DURING NON-GERMINATING MONTHS. MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- EAS BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE INSPECTING AUTHORITY FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE EAS BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS. SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE INSPECTING AUTHORITY TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL EAS BMPs FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF EAS BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 802 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE.
- FILL MATERIAL FOR OBJECTIONABLES SHALL BE FREE OF ROOTS OR OTHER HOUSING OR VEGETATION ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN MAXIMUM 10" LAYERED LIFTS AT 90% DENSITY.

PERMANENT SEEDING SPECIFICATIONS:

MATERIALS:
TOP SOIL: 4" (MINIMUM) TOPSOIL SHALL BE REQUIRED ON ALL LAWN AREAS.
LIMESTONE: RAW, GROUND AGRICULTURAL LIMESTONE CONTAINING MORE THAN 90 PERCENT CALCIUM CARBONATES (ADJUST pH LEVELS TO 6.5 TO 7.0). APPLY AT A RATE OF 6 TONS/AC (275 LB/1,000 SF), UNLESS OTHERWISE INDICATED BY SOIL TESTS.
COMMERCIAL FERTILIZER: IN THE ABSENCE OF A SOIL TEST, USE 1000 LB/AC OF 10-20-20 (23 LB/1000 SF) MIXED INTO SEEDBED PRIOR TO SEEDING, OR IN A TANK WITH SEED WHEN HYDROSEEDING.
INOCULANT: INOCULANT FOR TREATING LEGUMINOUS SEEDS SHALL BE A STANDARD COMMERCIAL PRODUCT CONSISTING OF A SUITABLE CARRIER CONTAINING A CULTURE OF NITROGEN FIXING BACTERIA SPECIFIC FOR SEEDS TO BE INOCULATED. INOCULANT SHALL NOT BE USED LATER THAN DATE INDICATED ON THE CONTAINER.
MULCH: CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT 1947. APPLY AT A RATE OF 130 POUNDS PER 1,000 SQUARE FEET (1 TONS PER ACRE). PRECAUTIONS SHALL BE TAKEN TO STABILIZE MULCH UNTIL THE VEGETATIVE COVER IS ESTABLISHED.
SEED MIXTURE: SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE FOLLOWING VARIETIES AND MIXED IN PROPORTIONS SPECIFIED.

PERMANENT SEEDING MIXTURE

(P:ADDT FORMULA B)

PERENNIAL RYEGRASS MIXTURE (LULAM PERENNE) - A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 50% OF THE TOTAL RYEGRASS COMPONENT.	PROPORTION BY WEIGHT	MINIMUM PURITY	MINIMUM GERMINATION
20%	98%	90%	
CREEPING RED FESCUE OR CHEWINGS FESCUE	30%	98%	85%
KENTUCKY BLUEGRASS MIXTURE (POA PRATENSIS) - A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 25% OF THE TOTAL BLUEGRASS COMPONENT.	50%	98%	80%

01 PERMANENT SEEDING

TEMPORARY SEEDING SPECIFICATIONS:

LIMESTONE: RAW, GROUND AGRICULTURAL LIMESTONE CONTAINING MORE THAN 90 PERCENT CALCIUM CARBONATES (ADJUST pH LEVELS TO 6.5 TO 7.0). APPLY AT A RATE OF 1 TON/AC, UNLESS OTHERWISE INDICATED BY SOIL TESTS.
COMMERCIAL FERTILIZER: IN THE ABSENCE OF A SOIL TEST, USE 1000 LB/AC OF 10-20-20 (23 LB/1000 SF) MIXED INTO SEEDBED PRIOR TO SEEDING, OR IN A TANK WITH SEED WHEN HYDROSEEDING.
MULCH: CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT 1947. APPLY AT A RATE OF 130 POUNDS PER 1,000 SQUARE FEET (1 TON PER ACRE). PRECAUTIONS SHALL BE TAKEN TO STABILIZE MULCH UNTIL THE VEGETATIVE COVER IS ESTABLISHED.
SEED MIXTURE: SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE FOLLOWING VARIETIES AND MIXED IN THE PROPORTIONS SPECIFIED.

TEMPORARY SEED MIXTURE

RYEGRASS VAR. KENTUCKY	PROPORTION BY WEIGHT	MINIMUM PURITY	MINIMUM GERMINATION
100%	98%	90%	

02 TEMPORARY SEEDING

CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE:

IF THE FILL WILL NEED TO HAVE FILL IMPORTED FROM AN OFF-SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL RESIDE WITH THE CONTRACTOR RESPONSIBLE FOR EARTHMOVING OPERATIONS.
ENVIRONMENTAL DUE DILIGENCE MEANS: PERFORMING INVESTIGATIVE TECHNIQUES FOR THE IMPORTED MATERIAL. THIS INCLUDES, BUT IS NOT LIMITED TO: VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANDHORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, AND ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) POLICY MANAGEMENT OF FILL.

03 CLEAN FILL & ENVIRONMENTAL DUE DILIGENCE

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECONSIDERABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM USED ASPHALT DOES NOT INCLUDE KILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

04 RECYCLING OR DISPOSAL OF MATERIALS

- ALL DEVICES SHOULD BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF EVENT. IF DURING THESE INSPECTIONS, ANY DEVICE IS FOUND TO BE CLOGGED, DAMAGED, HALF-FULL OF SILT OR NOT FULLY OPERATIONAL, THE DEVICE(S) SHALL BE CLEANED OF ALL DEBRIS.
- ALL MAINTENANCE INSPECTIONS AND REPAIRS SHALL BE LOGGED ONTO DEP FORM # 1150-FM-BW-EW083, DATED FEB 2012 AND KEPT ON THE SITE AT ALL TIMES.
- ALL REPAIRS TO BE COMPLETED WITHIN 24 HOURS OF DISCOVERY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL TEMPORARY CONTROL MEASURES DURING CONSTRUCTION.
- IF ANY AREA IS DISTURBED WHILE REPAIRING BMPs OR ANY OTHER MAINTENANCE ACTIVITY, THE AREA MUST BE IMMEDIATELY STABILIZED AND RETURNED TO THE PRIOR CONDITION.
- UPON COMPLETION OF THE PROJECT, RECYCLING OR DISPOSAL OF ALL TEMPORARY EROSION CONTROL MATERIALS SHALL BE THE RESPONSIBILITY OF THE EARTHMOVING CONTRACTOR.
- CONSTRUCTION WASTE INCLUDES, BUT IS NOT LIMITED TO, EXCESS SOIL MATERIALS, SILT REMOVED FROM EROSION CONTROL FACILITIES, EXCESS BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, AND OBSOLETE EROSION CONTROL MATERIALS (SILT FENCE, SILT SACKS, ETC.).
- SILT REMOVED FROM SEDIMENT CONTROL FACILITIES SHALL BE SPREAD ON THE TOPSOIL STOCKPILE, OR IN LAWN OR LANDSCAPE AREAS.
- OBSOLETE EROSION CONTROL MATERIALS AND EXCESS BUILDING MATERIALS MUST BE DISPOSED OF AT A DEP APPROVED SITE.

05 RECYCLING OR DISPOSAL OF MATERIALS

MAINTENANCE SCHEDULE

CONTROL MEASURE	INSPECT	PROBLEMS TO LOOK FOR	POSSIBLE REMEDIES
VEGETATION	WEEKLY AND AFTER EVERY RUNOFF EVENT	SEDIMENT AT TOE OF SLOPE RILLS AND GULLIES FORMING BARE SOIL PATCHES	CHECK FOR TOP-OF-SLOPE DISPOSITION AND INSTALL IF NEEDED FILL RILLS AND REGRADE GULLIED SLOPES RESEED, FERTILIZE, AND MULCH BARE AREAS
ROCK CONSTRUCTION ENTRANCES	WEEKLY AND AFTER EVERY RUNOFF EVENT	SINK HOLES OR RUTS SEDIMENT ON PUBLIC ROADWAY	ADD ROCK TO BRING TO SPECIFIED DIMENSIONS SWEEP MATERIAL BACK TO PROJECT SITE. DO NOT WASH ROADWAY WITH WATER.
COMPOST FILTER SOCK	WEEKLY AND AFTER EVERY RUNOFF EVENT	SEDIMENT ACCUMULATION ON UPSTREAM SIDE PONDING WATER	REMOVE SEDIMENT WHEN LEVEL REACHES HALF OF THE EFFECTIVE HEIGHT REMOVE SEDIMENT OR ADD ADDITIONAL COMPOST FILTER SOCK TO REDUCE SLOPE LENGTH
INLET PROTECTION	WEEKLY AND AFTER EVERY RUNOFF EVENT	TEARING OR RIPPING OF FABRIC SEDIMENT ACCUMULATION IN BULLET FILTER BAG TO 1/2 BULLET FILTER BAG TORN OR DAMAGED	REPLACE RIPPED SECTION WITH NEW COMPOST FILTER SOCK REMOVE SEDIMENT AND DISPOSED SITE CLEAN AND/OR REPLACE BAG REBUILD BARRIER REPLACE BAG

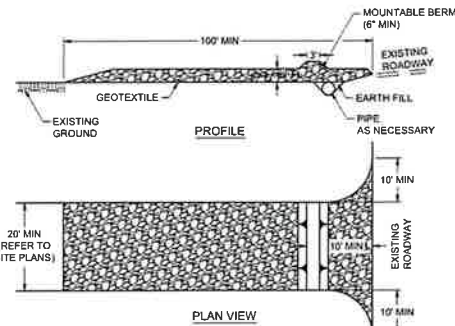
- ALL MAINTENANCE INSPECTIONS SHALL BE LOGGED ONTO DEP FORM # 1150-FM-BW-EW083, DATED 2012 OR MOST CURRENT FORM, AND KEPT ON THE SITE AT ALL TIMES.
- ALL REPAIRS TO BE COMPLETED WITHIN 24 HOURS OF DISCOVERY. REMOVED SEDIMENTS TO BE SPREAD OVER TOPSOIL STOCKPILE(S).
- AFTER THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSPECTIONS AND MAINTENANCE OF ALL TEMPORARY CONTROL MEASURES DURING CONSTRUCTION.
- ALL DEVICES SHOULD BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF EVENT. IF DURING THESE INSPECTIONS, ANY DEVICE IS FOUND TO BE CLOGGED, DAMAGED, HALF-FULL OF SILT OR NOT FULLY OPERATIONAL, THE DEVICE(S) SHALL BE CLEANED OF ALL DEBRIS.
- UPON COMPLETION OF THE PROJECT, RECYCLING OR DISPOSAL OF ALL TEMPORARY EROSION CONTROL MATERIALS SHALL BE THE RESPONSIBILITY OF THE EARTHMOVING CONTRACTOR.
- CONSTRUCTION WASTE INCLUDES, BUT IS NOT LIMITED TO, EXCESS SOIL MATERIALS, SILT REMOVED FROM EROSION CONTROL FACILITIES, EXCESS BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, AND OBSOLETE EROSION CONTROL MATERIALS (SILT FENCE, SILT SACKS, ETC.).
- SILT REMOVED FROM SEDIMENT CONTROL FACILITIES SHALL BE SPREAD ON THE TOPSOIL STOCKPILE, OR IN LAWN OR LANDSCAPE AREAS.
- OBSOLETE EROSION CONTROL MATERIALS AND EXCESS BUILDING MATERIALS MUST BE DISPOSED OF AT A DEP APPROVED SITE.
- SITE EARTHWORK WILL BE BALANCED PER THE GRADING PLAN.

05 MAINTENANCE SCHEDULE

CONSTRUCTION SEQUENCE

- STAKE OUT LIMIT OF DISTURBANCE AND GRADING OPERATIONS.
- INSTALL MAIN MAIN ROCK CONSTRUCTION ENTRANCE AND MAINTENANCE STOCKPILE OFF HASTINGS PARK DRIVE AS SHOWN ON THE INITIAL EROSION AND SEDIMENT CONTROL PLAN (DRAWINGS AND ACCORDANCE WITH THE CONSTRUCTION DETAILS).
- INSTALL MAIN MAIN INLET PROTECTION (REINFORCING) AS INDICATED ON THE INITIAL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH THE CONSTRUCTION DETAILS.
- INSTALL MAIN MAIN COMPOST FILTER SOCKS IN THE LOCATIONS SHOWN ON THE INITIAL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH THE CONSTRUCTION DETAILS.
- BEGIN DEMOLITION OF FOUNDATION AREA. EXISTING FOUNDATION AND CURB CUTS, ONCE FOUNDATIONS ARE LOCALIZED, ADD COMPOST FILTER SOCKS WITHIN WALK GRADING ACTIVITIES AS LOCATED ON THE INITIAL EROSION AND SEDIMENT CONTROL PLAN. ONCE COMPLETE WITH DEMOLITION ACTIVITIES, CONTRACTOR TO BEGIN TO PREPARE SITE FOR THE FINAL EROSION AND SEDIMENT CONTROL PLAN.
- AS BULK GRADING ACTIVITIES APPROXIMATELY BEGINS, A SECTION OF UNGRADED ROAD, KILBANE STREET, AND COTTAGE WAY, NEEDS INSTALL COMPOST FILTER SOCKS AS INDICATED ON THE FINAL EROSION AND SEDIMENT CONTROL PLAN DRAWINGS AND IN ACCORDANCE WITH THE CONSTRUCTION DETAILS.
- BEGIN CONSTRUCTION OF SITE UTILITIES WORKING FROM ARCH STREET NORTH TOWARDS MAYVIEW ROAD INCLUDING SANITARY SEWER, STORM SEWER, WATER, AND OTHER SITE UTILITIES. ONCE INLETS ARE IN PLACE, IMMEDIATELY INSTALL MAIN MAIN INLET PROTECTION AS INDICATED ON THE FINAL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH THE CONSTRUCTION DETAILS.
- INSTALL THE CONCRETE WASHOUT AREA AS SHOWN ON THE PLAN IN ACCORDANCE WITH THE CONSTRUCTION DETAIL. PRIOR TO ANY CONCRETE POURS, CONFORMANCE WITH STORM SEWER INSTALLATION. MAIN FLOW AT LEAST BY PROVISION OF STREET OR PROPOSED ALLEYS.
- UPON COMPLETION OF UTILITY INSTALLATION, BEGIN REPAIRING ROAD SUBGRADE, REPAIR CURBING, REMOVE ROCK CONSTRUCTION ENTRANCE #1, AND INSTALL PAVING SECTION AS SHOWN ON THE FINAL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH CONSTRUCTION DETAILS.
- REPLACE TOPSOIL ON NON-PAVED AREAS FOR SEEDING, RESEED AND MULCH ALL DISTURBED AREAS. VERIFY THE SPECIFIED SEEDING REQUIREMENTS FOUND ON THE DETAILED PLAN. ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED BY REINFORCING CURB OR ANCHORED TO RE MAINWAY. NO MORE THAN 1000 SQUARE FEET OF DISTURBED AREA MAY BE LEFT UNPAVED BEFORE REPAIRING SEEDING AND MULCHING OPERATIONS.
- REPAIR CONSTRUCTION IN THE ARCH STREET WASHOUT AREA, TILAM STREET, AND COTTAGE WAY AREAS.
- CONTRACTOR TO CONTINUE BULK GRADING ACTIVITIES TOWARDS SUBGRADE AS INDICATED ON THE FINAL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH THE CONSTRUCTION DETAILS.
- REPAIR CONSTRUCTION IN THE ARCH STREET WASHOUT AREA, TILAM STREET, AND COTTAGE WAY AREAS.
- UPON COMPLETION OF UTILITY INSTALLATION, BEGIN REPAIRING ROAD SUBGRADE, REPAIR CURBING, REMOVE ROCK CONSTRUCTION ENTRANCE #2, AND INSTALL PAVING SECTION AS SHOWN ON THE FINAL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH CONSTRUCTION DETAILS.
- REPLACE TOPSOIL ON NON-PAVED AREAS FOR SEEDING, RESEED AND MULCH ALL DISTURBED AREAS. VERIFY THE SPECIFIED SEEDING REQUIREMENTS FOUND ON THE DETAILED PLAN. ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED BY REINFORCING CURB OR ANCHORED TO RE MAINWAY. NO MORE THAN 1000 SQUARE FEET OF DISTURBED AREA MAY BE LEFT UNPAVED BEFORE REPAIRING SEEDING AND MULCHING OPERATIONS.
- REPAIR CONSTRUCTION IN REGAL STREET SECTION WAY, EVERETT ALLEY, LYNN WAY, LEVIGATE AND RE REPAIRING SECTION DD WASHOUT AREA ALONG HASTINGS DRIVE/OUT.
- UPON COMPLETION OF THE VERTICAL CONSTRUCTION OF THE HOMES, COMPLETE PAVING GRADING ACTIVITIES, INSTALL DRIVEWAYS, SIDEWALKS, RAMPS, SCRAPES, AND FINAL COVER OF PAVING. PLACE TOPSOIL AND IMMEDIATELY RESEED ALL DISTURBED AREAS IN ACCORDANCE WITH THE CONSTRUCTION DETAILS AND SPECIFICATIONS.
- RESEED ALL DISTURBED AREAS WITH PERENNIAL VEGETATIVE COVER IF NOT ESTABLISHED AFTER 30 DAYS.
- REMOVE ALL SILT PROTECTION ON ROAD NETWORK.

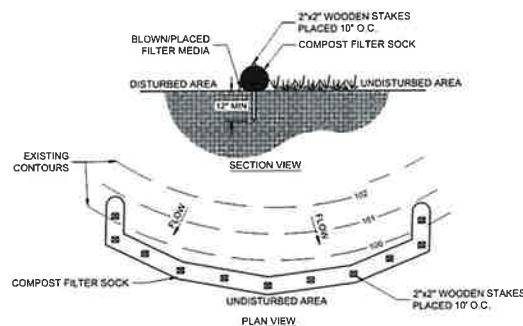
06 PHASE 5 CONSTRUCTION SEQUENCE



- NOTES:**
- TOPSOIL SHALL BE REMOVED PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE.
 - EXTEND ROCK OVER WIDTH OF ENTRANCE.
 - RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 - MOUNTABLE BERM SHOULD BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED. PIPE TO BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
 - REFER TO SITE PLANS FOR SIZE AND LOCATION. WHERE APPLICABLE, REFER TO HOP PLANS FOR SIZE AND LOCATION ON STATE ROADWAYS.

- MAINTENANCE**
- ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE.
 - ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50' INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO THE ROADWAY DITCHES, CULVERTS, OR OTHER DRAINAGE WAYS IS NOT ACCEPTABLE.

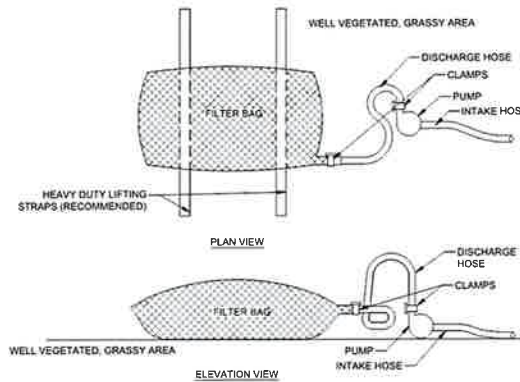
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C402 ROCK CONSTRUCTION ENTRANCE



- NOTES:**
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8' UP SLOPE AT 45° TO THE MAIN SOCK ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. SEE TABLE BELOW.
 - TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 - SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - BIODEGRADABLE FILTER SOCK SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
 - SILT SOCK FABRIC MATERIAL SHALL BE MULTI-FILAMENT POLYPROPYLENE (MFPF), MINIMUM FUNCTIONAL LONGEVITY 1 YEAR.
 - SLOPE LENGTH TABLE FROM FIGURE 4.2, PADEP BMP MANUAL:

SILT SOCK DIAMETER	3:1 SLOPE	2:1 SLOPE
12"	67'	25'
18"	70'	32'
24"	90'	50'
32"	110'	65'

2
C402 COMPOST FILTER SOCK



- NOTES:**
- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4854	80 LB/IN
GRAB TENSILE	ASTM D-4852	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	390 PSI
UV RESISTANCE	ASTM D-4255	70%
80% RETAINED	ASTM D-4751	80 SEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS WHERE THIS IS NOT POSSIBLE. A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

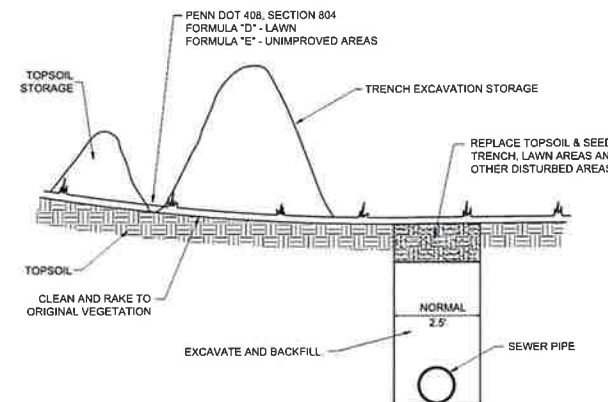
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

3
C402 PUMPED WATER FILTER BAG



4
C402 EROSION CONTROL FOR SEWER TRENCHES

PIG Over-The-Drain Sediment Filter
FLT81 For Sediment, Debris, Trash For Storm Drains 24" Dia. x 36" H. Magnets, Single

Our magnetic over the drain inlet filter installs effortlessly to remove sediment and debris from stormwater runoff, even during high-flow events before it enters your drains and streets, ideal as a Best Management Practice (BMP) to help avoid violations.

Integrated magnets to pass on underside of filter allow easy installation in secondary soil with no plan or no lifting grate, no cables, no no-punch fittings.

Natural coconut fibers are densely woven and vertically oriented to maximize sediment removal and flow rate.

Designed and tested to remove 99% of particulate size 0.425mm and larger.

Built-in ports and scalloped edges help resist clogging, minimize splash and overflow protection during high flow storm events.

For curb-to-curb streets with grate, align magnets and ports straight (perpendicular) edge against curb for best performance.

For curb-to-curb streets without a grate, filter can be hinged in half and "hulped" into opening friction fit holds filter in place.

Reusable product can be washed and reinstalled for extended service.

Specifications

Height	Over the Drain
Low Water	36" (diam) 36" H x 24" W
Dimensions	48" H x 36" W x 24" L x 2.25" W
Application	PIG
Brand	PIG
Drain Shape	Round
Color	Blue
Material	Coconut Fiber
Special Feature	Magnetic Straps

5
C402 INLET PROTECTION

PIG Over-The-Drain Sediment Filter

Maximum depth of concrete washout water is 50% of filter ring height.

2" x 2" x 36" wooden stakes placed 5' o.c.

24" diameter compost filter sock.

2" x 2" x 36" wooden stakes placed 5' o.c.

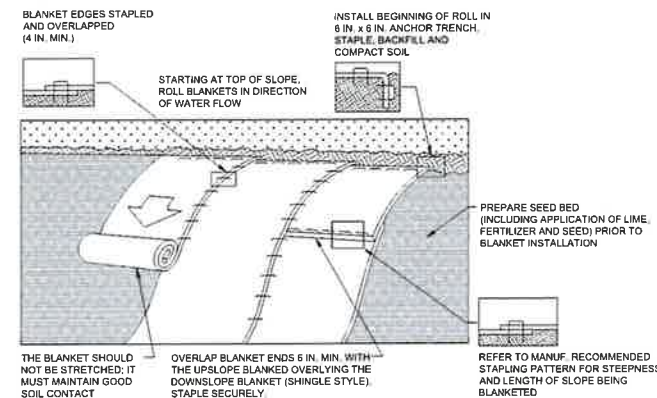
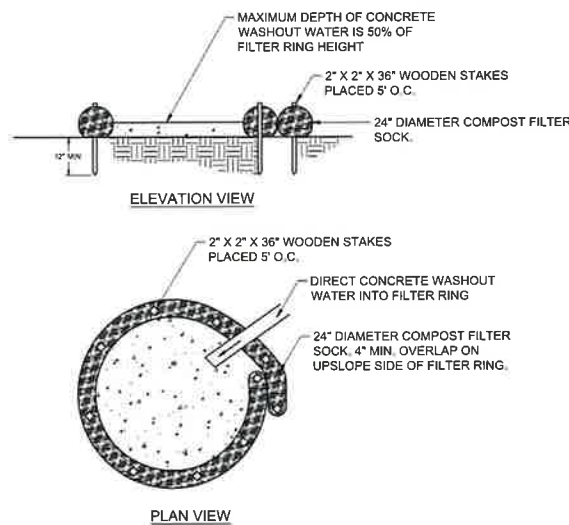
Direct concrete washout water into filter ring.

24" diameter compost filter sock, 4" min. overlap on upslope side of filter ring.

NOTES:

- INSTALL ON FLAT GRADE FOR OPTIMAL PERFORMANCE.
- 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
- A SUITABLE IMPERVIOUS GEOMEMBRANE LINER SHALL BE PLACED AT THE LOCATION PRIOR TO THE INSTALLING THE SOCKS.

6
C402 CONCRETE WASHOUT AREA



- NOTES:**
- SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
- PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
- BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
- THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

7
C402 EROSION CONTROL BLANKET

REVISION RECORD

No.	Date	Description
01		
02		
03		
04		
05		
06		
07		
08		

PROFILE STRUCTURE ABBREVIATIONS

STM	STORM
SAN	SANITARY
MH	MANHOLE
OS	OUTLET STRUCTURE
CO	CLEANOUT
HW	HEADWALL
EW	ENDWALL

PROFILE NOTES:

1 THE LENGTHS (LF) SHOWN ON THIS PLAN ARE CENTERLINE STRUCTURE TO CENTERLINE STRUCTURE, AND DO NOT ACCOUNT FOR SLOPES OR DEFINE ACTUAL LENGTHS OF PIPE.



Know what's below.
Call before you dig.
1-800-242-1776
Serial No. 20260352495



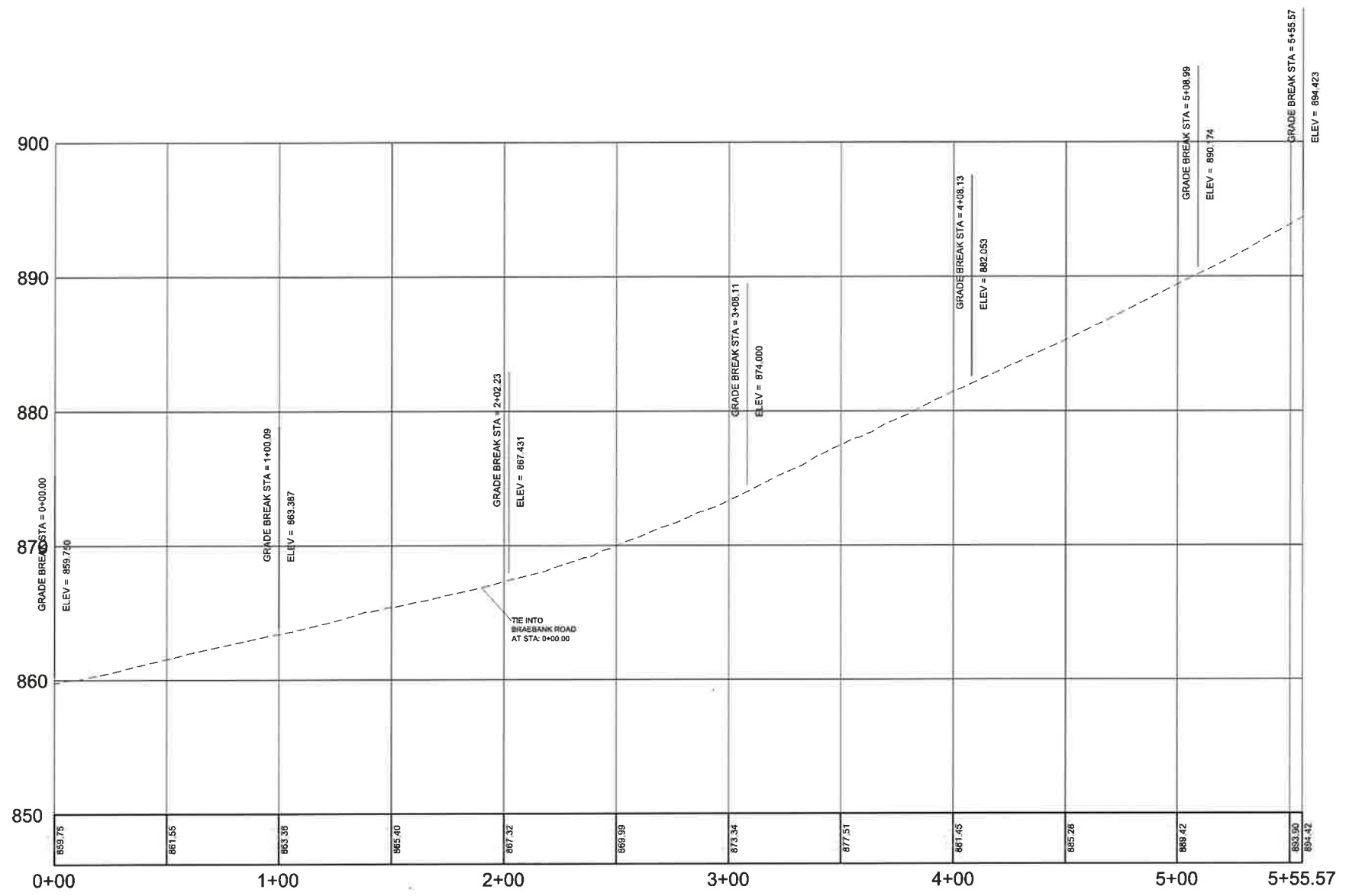
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2025-10-10	02	REVISED SKETCH PLANS
	03	
	04	
	05	
	06	
	07	
	08	

HASTINGS
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
MAYVIEW ROAD
PITTSBURGH, PA 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

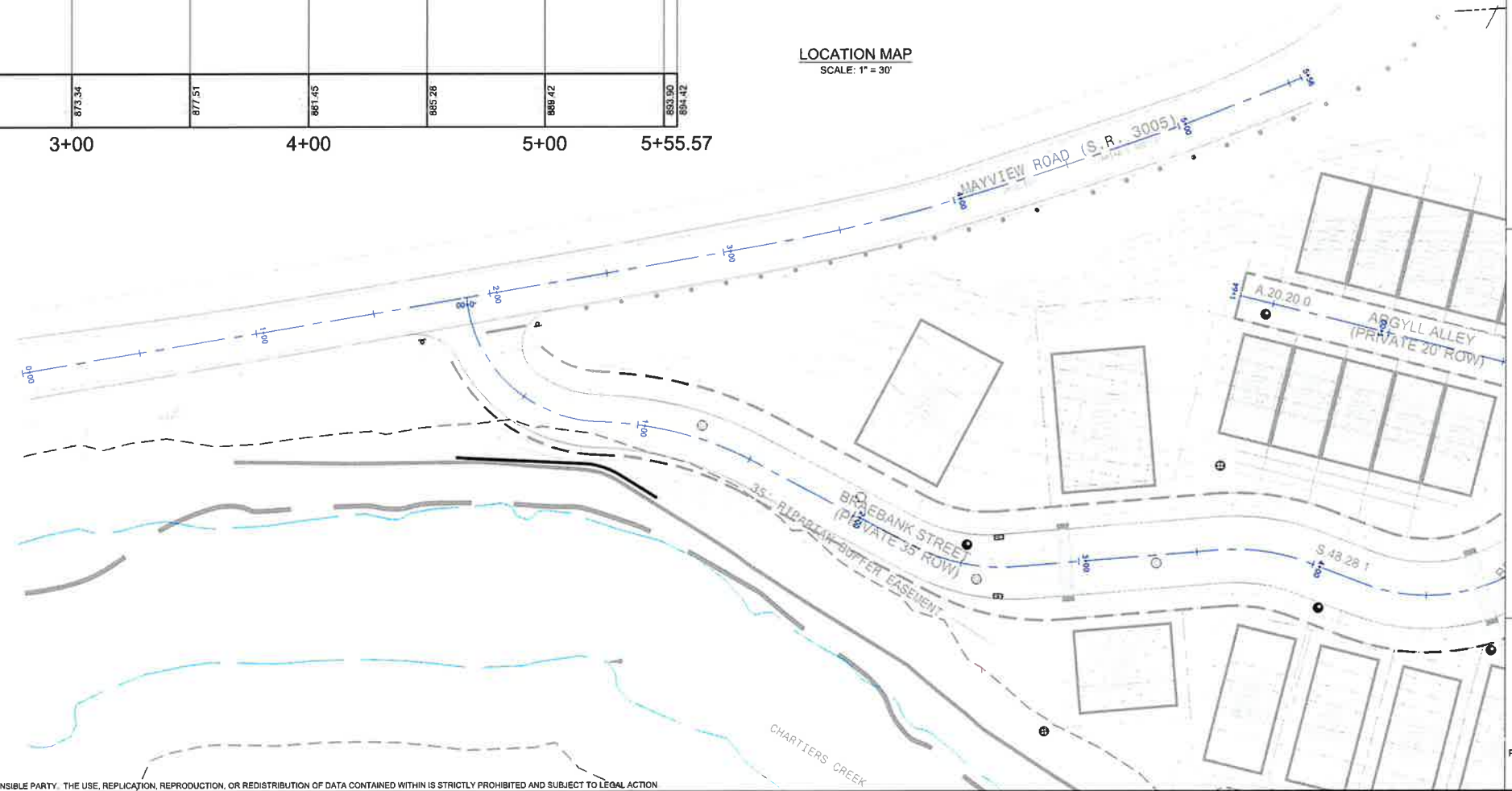
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Drawing Scale: AS NOTED
Date Issued: FEB 2026
Index Number:
Drawn By: CRS
Checked By: DMH
Project Manager: DMH

C500



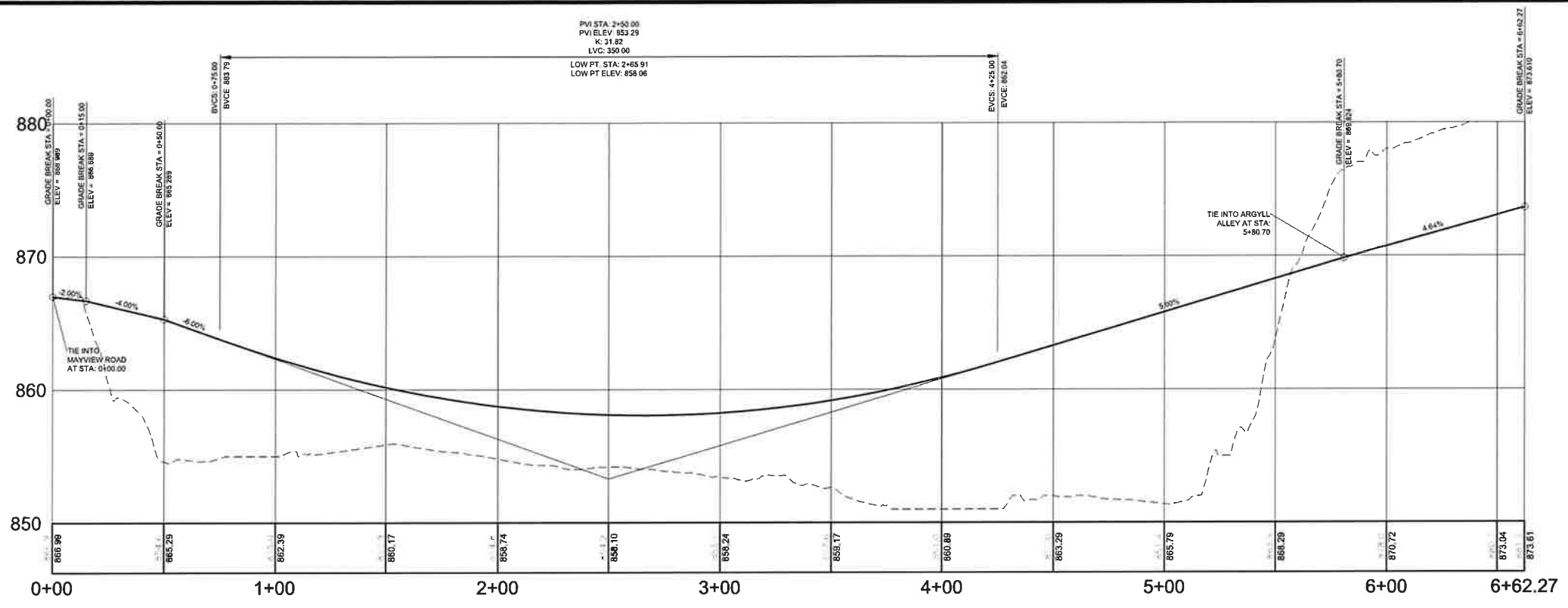
MAYVIEW ROAD PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 5'

LOCATION MAP
SCALE: 1" = 30'

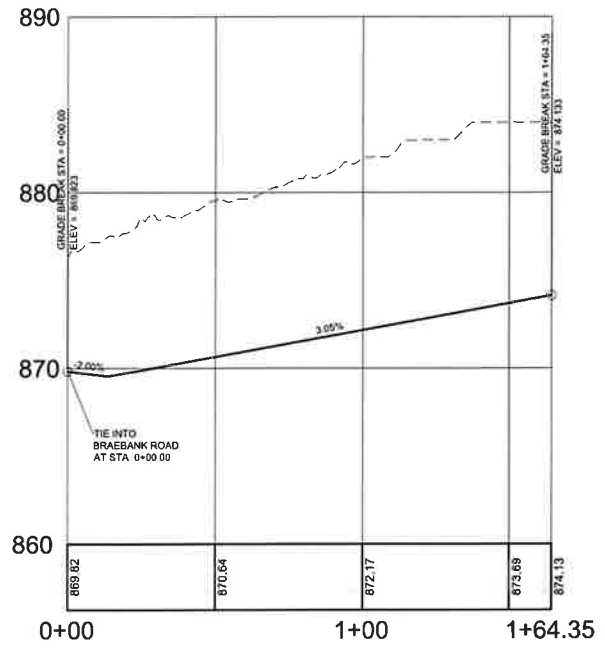


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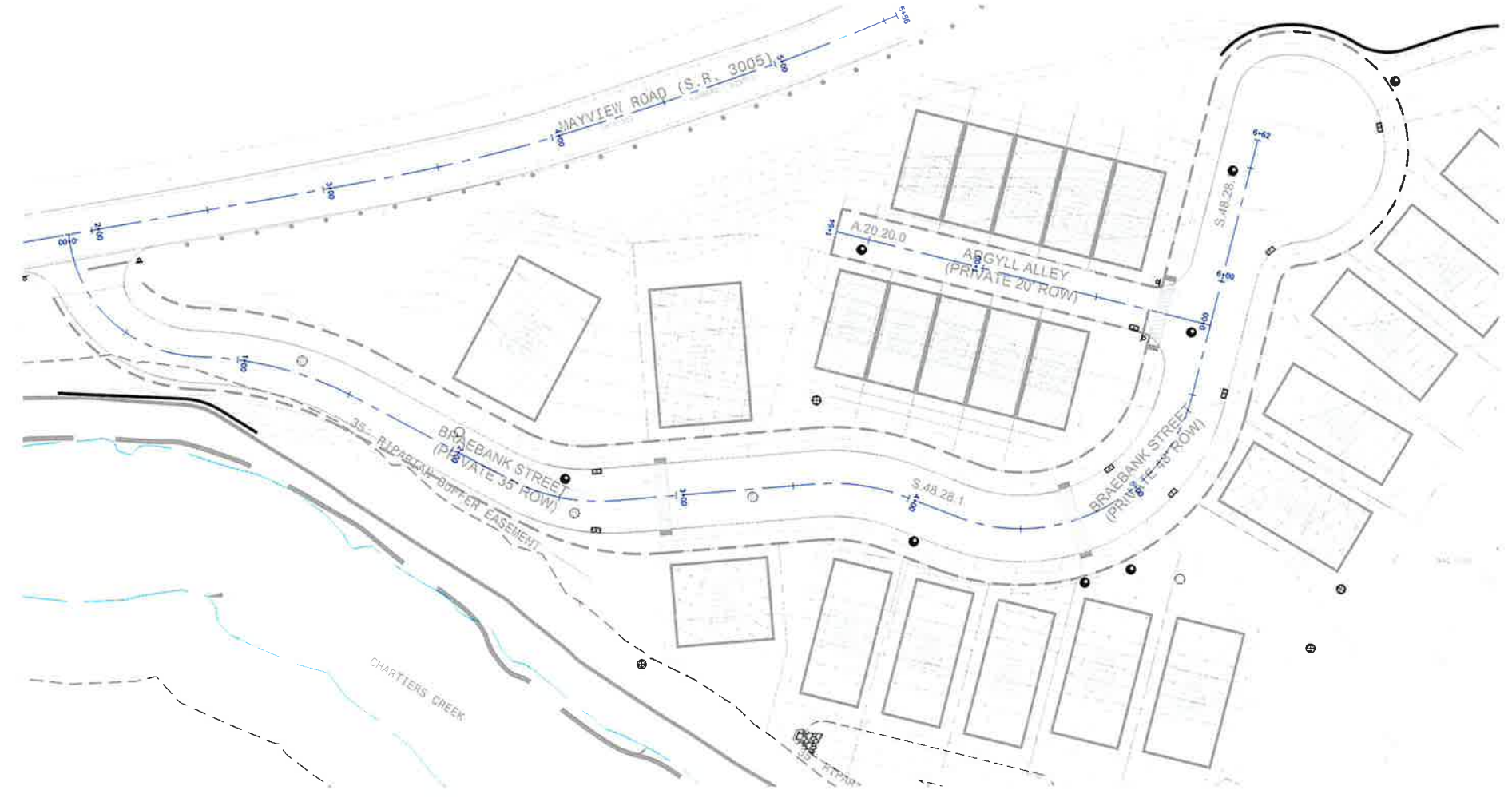
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 PVI ELEV: 853.29
 K: 31.82
 LVC: 350.00
 LOW PT. STA: 2+65.91
 LOW PT. ELEV: 858.06



BRAEBANK ROAD PROFILE
 HORIZONTAL SCALE: 1" = 30'
 VERTICAL SCALE: 1" = 5'



ARGYLL ALLEY PROFILE
 HORIZONTAL SCALE: 1" = 30'
 VERTICAL SCALE: 1" = 5'



LOCATION MAP
 SCALE: 1" = 30'

PROFILE STRUCTURE ABBREVIATIONS

STM	STORM
SAN	SANITARY
MH	MANHOLE
OS	OUTLET STRUCTURE
CO	CLEANOUT
HW	HEADWALL
EW	ENDWALL

PROFILE NOTES:

1. THE LENGTHS (LF) SHOWN ON THIS PLAN ARE CENTERLINE STRUCTURE TO CENTERLINE STRUCTURE AND DO NOT ACCOUNT FOR SLOPES OR DEFINE ACTUAL LENGTHS OF PIPE.



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2025-10-02	01	REVISED SKETCH PLANS
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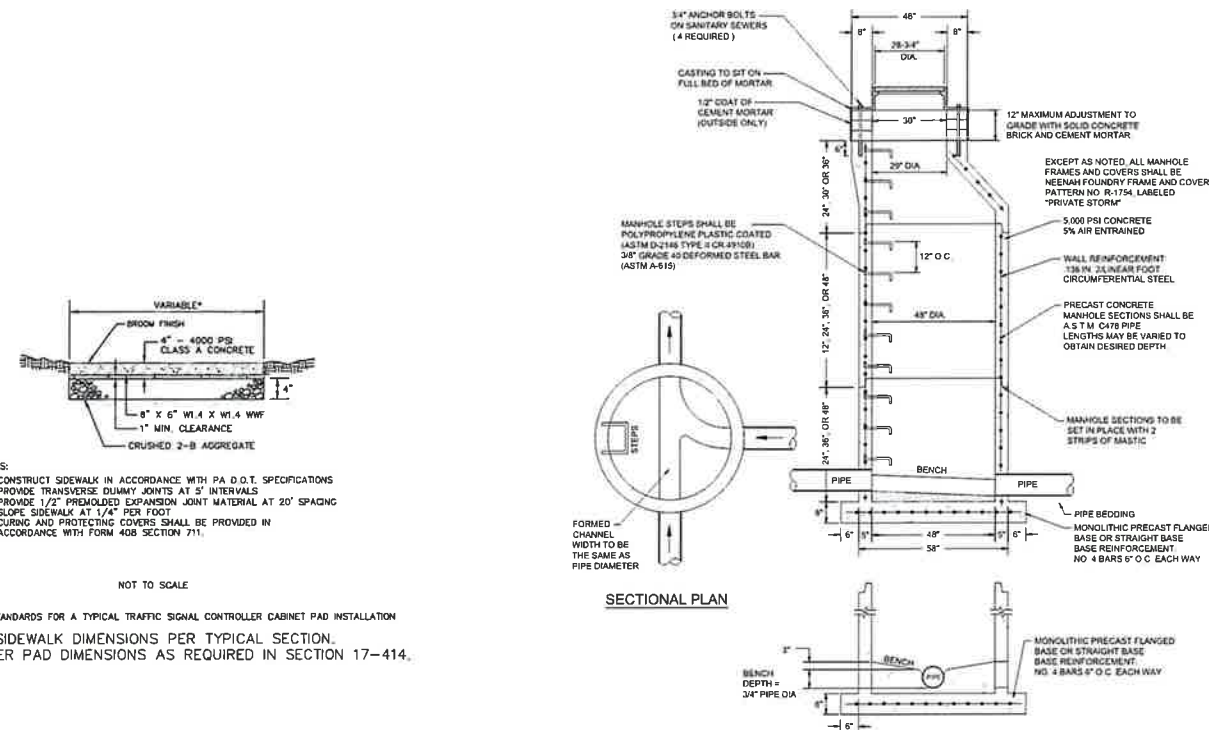
HASTINGS
 South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
 MAYVIEW ROAD
 PITTSBURGH, PA 15102
 PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
 322 NORTH ARCH STREET, FIRST FLOOR
 LANCASTER, PA 17603

ROAD PROFILES
 Project Number: 18927-0096
 Drawing Scale: AS NOTED
 Date Issued: FEB 2025
 Index Number:
 Drawn By: CRS
 Checked By: DMH
 Project Manager: DMH
C501



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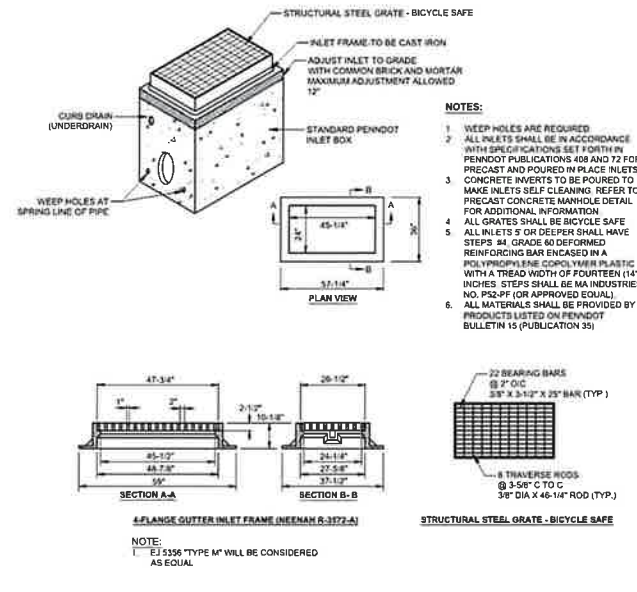


- NOTES:
1. CONSTRUCT SIDEWALK IN ACCORDANCE WITH PA D.O.T. SPECIFICATIONS
 2. PROVIDE TRANSVERSE DUMMY JOINTS AT 5' INTERVALS
 3. PROVIDE 1/2" PRIDGOLD EXPANSION JOINT MATERIAL AT 20' SPACING
 4. SLOPE SIDEWALK AT 1/4" PER FOOT
 5. CURING AND PROTECTING COVERS SHALL BE PROVIDED IN ACCORDANCE WITH FORM 408 SECTION 711.

NOTE: MIN. STANDARDS FOR A TYPICAL TRAFFIC SIGNAL CONTROLLER CABINET PAD INSTALLATION
*SIDEWALK DIMENSIONS PER TYPICAL SECTION.
CONTROLLER PAD DIMENSIONS AS REQUIRED IN SECTION 17-414.

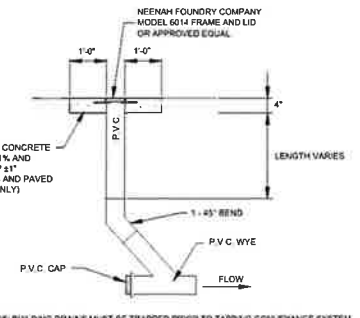
1	PROPOSED CONCRETE SIDEWALK
C600	

1	48" DIAMETER CONCRETE PRIVATE STORM MANHOLE
C600	



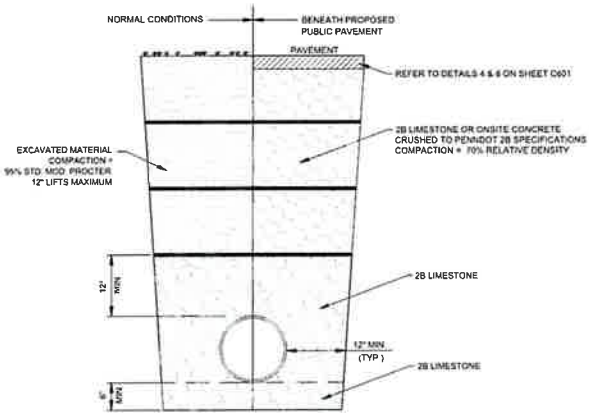
- NOTES:
1. WEEP HOLES ARE REQUIRED
 2. ALL INLETS SHALL BE IN ACCORDANCE WITH SPECIFICATIONS SET FORTH IN PENNDOT PUBLICATIONS 408 AND T2 FOR PRECAST AND POURED IN PLACE INLETS
 3. CONCRETE INLETS TO BE POURED TO MAKE INLETS SELF-CLEANING. REFER TO PRECAST CONCRETE MANHOLE DETAIL FOR ADDITIONAL INFORMATION
 4. ALL GRATES SHALL BE BICYCLE SAFE
 5. ALL INLETS 5' OR DEEPER SHALL HAVE STEPS 84, GRADE 60 DEFORMED REINFORCING BAR ENCASED IN A POLYPROPYLENE CONCRETE PLASTIC WITH A TREAD WIDTH OF FOURTEEN (14") INCHES. STEPS SHALL BE MA INDUSTRIES NO. P502FF (OR APPROVED EQUAL)
 6. ALL MATERIALS SHALL BE PROVIDED BY PRODUCTS LISTED ON PENNDOT BULLETIN 15 (PUBLICATION 35)

2	PENNDOT STANDARD INLET BOX WITH TYPE M FRAME AND BIKE SAFE GRATE
C600	

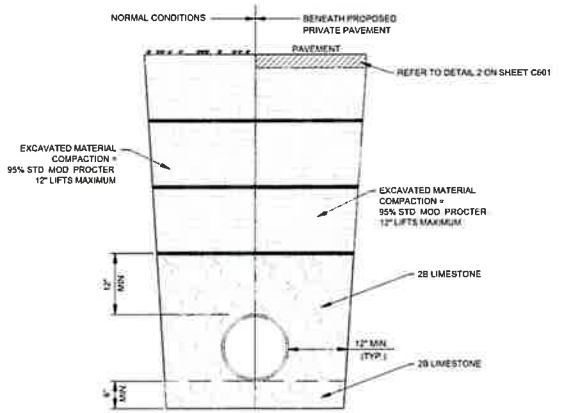


1. ALL ROOF BUILDING DRAINS MUST BE TRAPPED PRIOR TO TAPPING CONVEYANCE SYSTEM
2. COORDINATE WITH RELAYING DRAWINGS AND SPECIFICATIONS.

3	STORM CLEANOUT
C600	

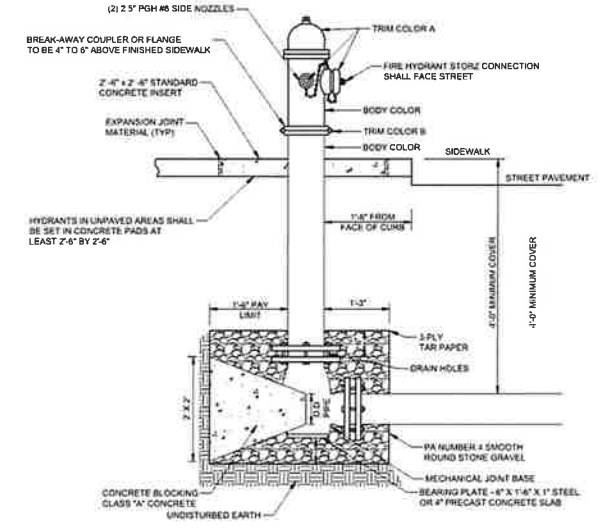


PUBLIC STREETS



PRIVATE STREETS / ALLEYS

4	UNDERGROUND PIPE OR CONDUIT BACKFILL (STORM SEWERS/UTILITIES)
C600	



HYDRANT PAINTING SCHEDULE		
SIZE OF MAIN	BODY COLOR	TRIM COLOR A
6" OR SMALLER	RED	WHITE
10" TO 20"	YELLOW	WHITE or BLACK
LARGER THAN 24"	GREEN	WHITE
HYDRANTS CONNECTED TO NON POTABLE WATER		PURPLE

THE AREA INDICATED AS "TRIM COLOR B" SHALL BE PAINTED THE BODY COLOR ON SINGLY CONNECTED HYDRANTS AND WHITE ON DOUBLE CONNECTED HYDRANTS

THE PENTAGONAL NUTS MAY BE EITHER TRIM COLOR A OR THE BODY COLOR

5	FIRE HYDRANT INSTALLATION
C600	



Fire Hydrant Specification

1. MANUFACTURER: Mueller 350 WP 4 1/2
2. QUALITY AND STYLE: Must be a dry barrel type hydrant and meet or exceed the requirements of the American Water Works Association Specification AWWA C502. Fire Hydrant for Ordinary Water Service.
3. CONSTRUCTION: Shall be a traffic model with a safety flange.
4. NUMBER AND SIZE OF NOZZLES: One 4 1/2 inch pumper nozzle and two 2 1/2 inch hose nozzles. Hose nozzles shall be 180 degrees apart and each hose nozzle 90 degrees from the pumper nozzle.
5. SIZE OF MAIN VALVE OPENING: Must be a minimum of a 4 1/2 inch valve and barrel size.
6. TYPE OF INLET CONSTRUCTION: Flanged or Mechanical Joint.
7. SIZE OF INLET CONNECTION: Minimum of 4 inch.
8. DEPTH OF TRENCH OR BURY: Minimum of 3 foot 6 inches from safety flange.
9. DIRECTION OF OPERATION: Open right.
10. SIZE AND SHAPE OF OPERATING NUT: National Standard which is 1 1/2 inch pantagon measured from point to opposite point flat at base of nut.
11. PUMPER AND HOSE NOZZLE THREADS:
 - a. Pumper thread shall be a 5 inch Storz type fitting with a red locking lever.
 - b. Hose threading shall be PCH6 "Pittsburgh 6" (3.062 x 6)
12. COLOR: Fire hydrant shall be yellow in color.

6	FIRE HYDRANT SPECIFICATION
C600	

DATE	REVISION RECORD
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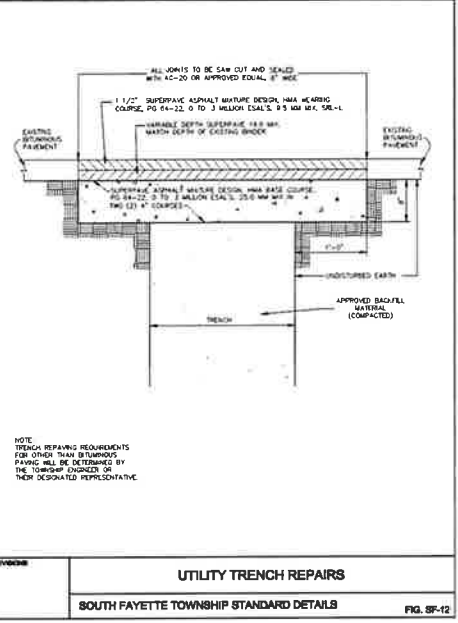
HASTINGS
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
MAYVIEW ROAD
PITTSBURGH, PA 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

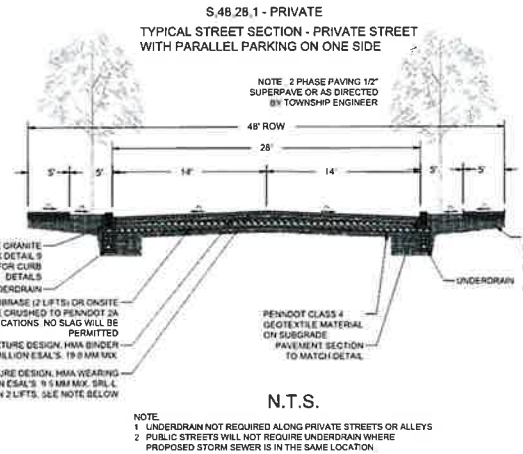
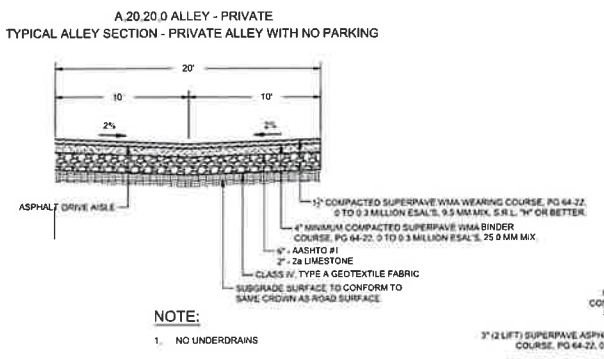
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Date Issued: FEB 2026
Index Number: -
Drawn By: CRS
Checked By: DMH
Project Manager: DMH

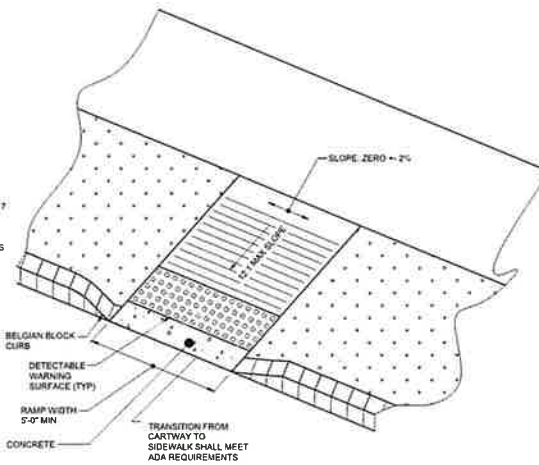
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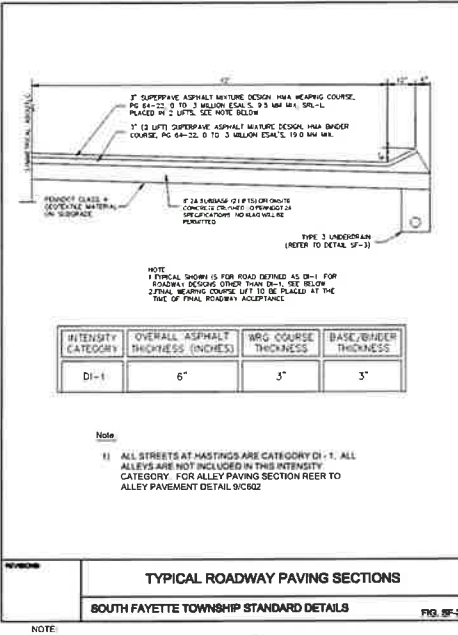
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C601 UTILITY TRENCH REPAIRS



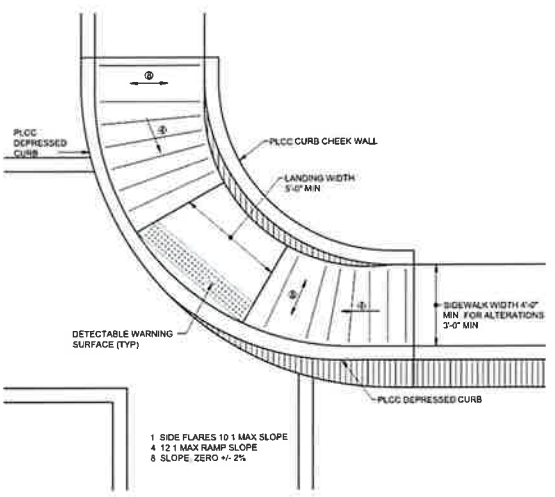
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C601 STREET SECTIONS



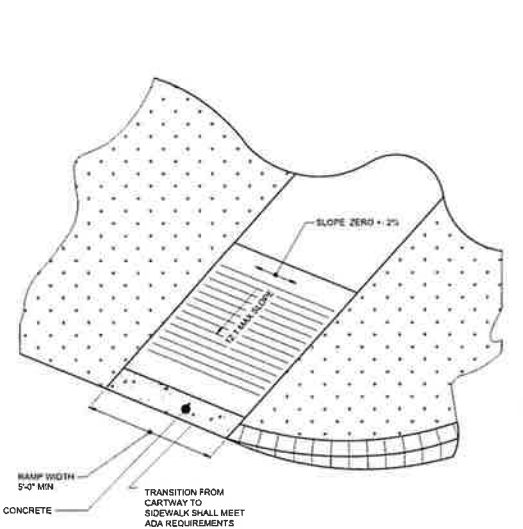
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C601 PROPOSED STREET CROSSING GRANITE BLOCK CURB RAMP



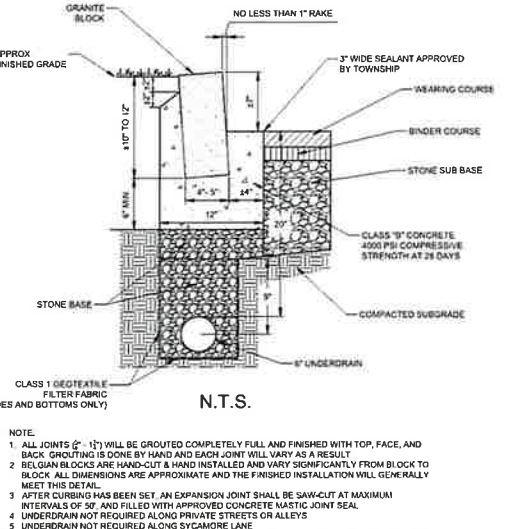
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C601 TYPICAL PAVING SECTION



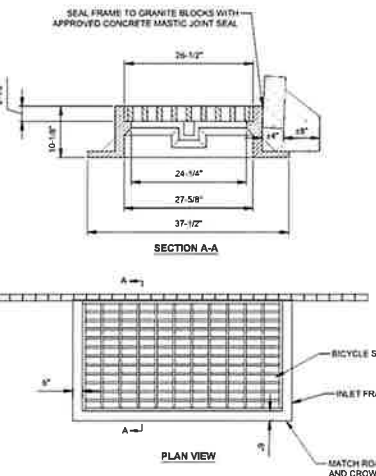
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C601 TYPE 2 CURB RAMP (DIAGONAL) (RC-67M)



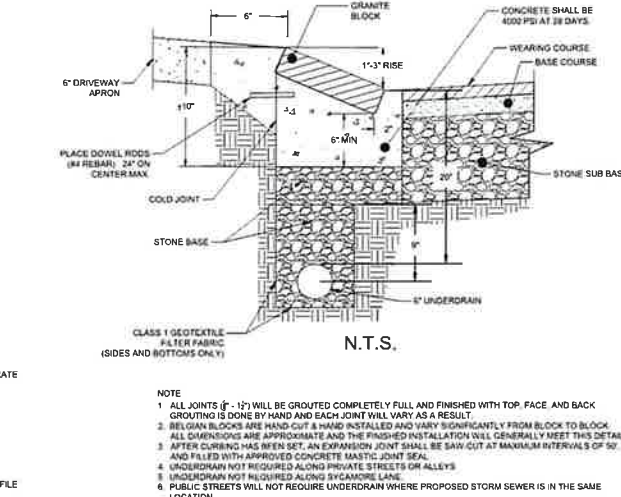
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C601 PROPOSED ALLEY CROSSING GRANITE BLOCK CURB RAMP



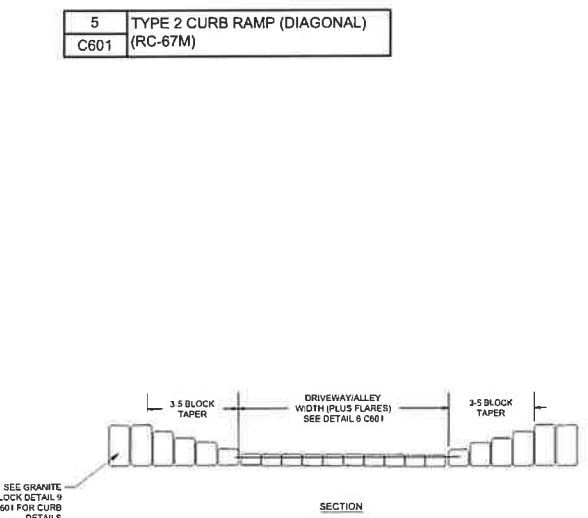
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C601 GRANITE BLOCK CURB



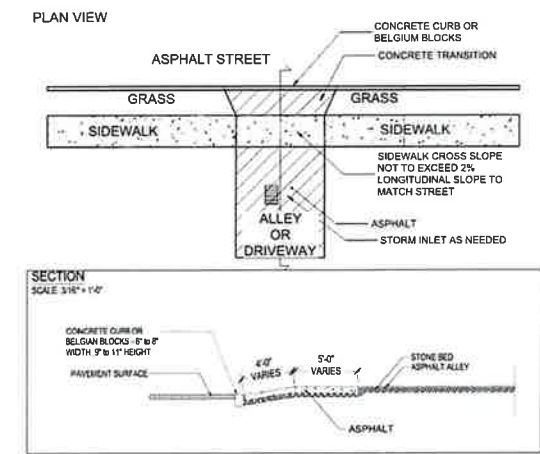
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C601 GRANITE BLOCK CURB AT INLET



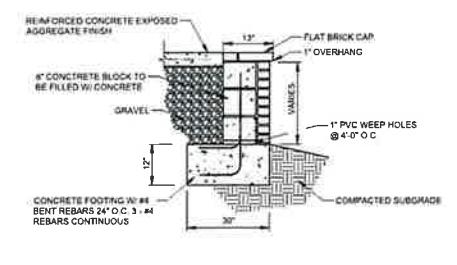
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C601 GRANITE BLOCK CURB - MOUNTABLE



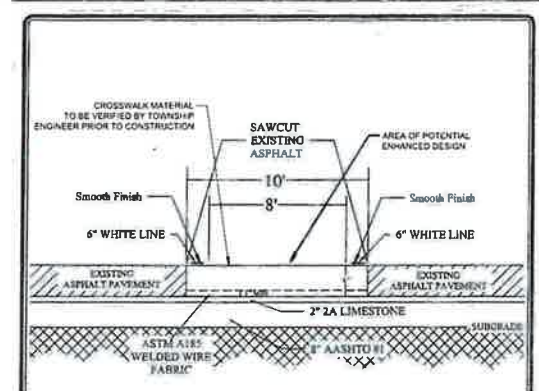
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C601 GRANITE BLOCK CURB - ALLEY/DRIVEWAY CONNECTIONS



11
C601 DRIVEWAY DETAIL AND DEPRESSED CURB



12
C601 BLOCK/BRICK RETAINING WALL



13
C601 TYPICAL CROSS SECTION 8 FOOT CROSSWALK (RD-27)

REVISION RECORD

Date	01	02	03	04	05	06	07	08

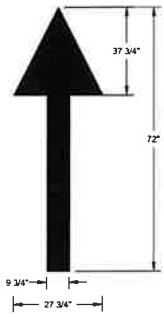
HASTINGS
South Fayette Township/Pittsburgh, PA

HASTINGS PHASE 5
MAYVIEW ROAD
PITTSBURGH, PA 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

CONSTRUCTION DETAILS

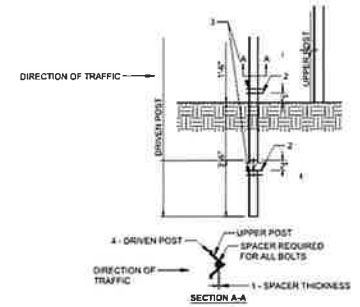
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Date Issued: FEB 2026
Index Number: -
Drawn By: CRS
Checked By: DMH
Project Manager: DMH

C601



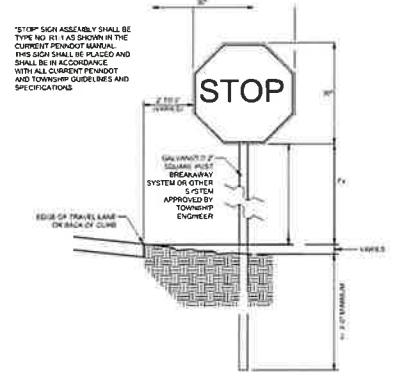
- NOTES:
- USE 6" WIDE LANE MARKING PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES
 - USE LATEX TYPE, READY MIXED COMPLYING WITH FEDERAL SPECIFICATION TT-P-1952E TYPES 1 AND 2, COLOR: WHITE
 - NEW ARROWS TO BE 15 MILS THICK
 - APPLY PER MANUFACTURERS RECOMMENDATIONS

1	PAINTED DIRECTIONAL ARROW
C602	



- GENERAL NOTES:
- THE SPACER THICKNESS SHALL BE NO LESS THAN THE GAP BETWEEN THE POSTS WHEN POSITIONED IN THE UNBOLTED CONFIGURATION
 - THE EXTERIOR BOLT, SPACER, WASHER AND NUT SHALL BE INSTALLED IN A PRE-PUNCHED HOLE WITHIN THE FIRST 2" OF THE END OF THE LAPPED POST SECTION
 - THE INTERIOR BOLT, SPACER, WASHER AND NUT SHALL BE INSTALLED IN A PRE-PUNCHED HOLE WITHIN THE FIRST 2" OF THE END OF THE LAPPED POST SECTION. THE MAXIMUM SPACING BETWEEN THE INTERIOR BOLTS SHALL BE 1'-6". IF THE LENGTH OF THE POST LAP IS INCREASED SUCH THAT THIS 1'-6" MAXIMUM IS EXCEEDED, THE ADDITIONAL INTERIOR BOLTS SHALL BE INSTALLED SUCH THAT THE MAXIMUM SPACE BETWEEN A PAIR OF INTERIOR BOLTS DOES NOT EXCEED THE 1'-6" LIMIT
 - THE DRIVEN POST SHALL ALWAYS BE MOUNTED IN FRONT OF THE UPPER POST WITH RESPECT TO ADJACENT ONCOMING TRAFFIC, REGARDLESS OF THE DIRECTION THE SIGN IS FACING
 - THE BOLTS SHOWN SHALL BE 1" X 2" GALVANIZED BOLTS IN ACCORDANCE WITH ASTM A 449, OR SAE J429, GT 9, OR GALVANIZED BOLTS IN ACCORDANCE WITH ASTM A 325

2	U CHANNEL POST
C602	



3	'STOP' SIGN
C602	



4	SPEED LIMIT SIGN
C602	



5	PEDESTRIAN CROSSING SIGN
C602	

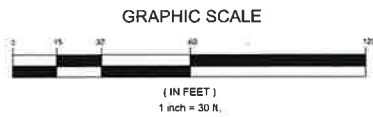
Type	Wattage	Voltage	IES Distribution	SAP #	CREW's CU	Mounting Ht.
LED	50 W	Multi-V	TYPE III	100128541	DS-745790-LED	12' or 16'
LED	50 W	Multi-V	TYPE V	100128528	DS-745792-LED	12' or 16'
LED	90 W	Multi-V	TYPE III	100128529	DS-745793-LED	12' or 16'
LED	90 W	Multi-V	TYPE V	100128530	DS-745791-LED	12' or 16'

6	LIGHT POST
C602	

REVISION RECORD

Date	01	02	03	04	05	06	07	08

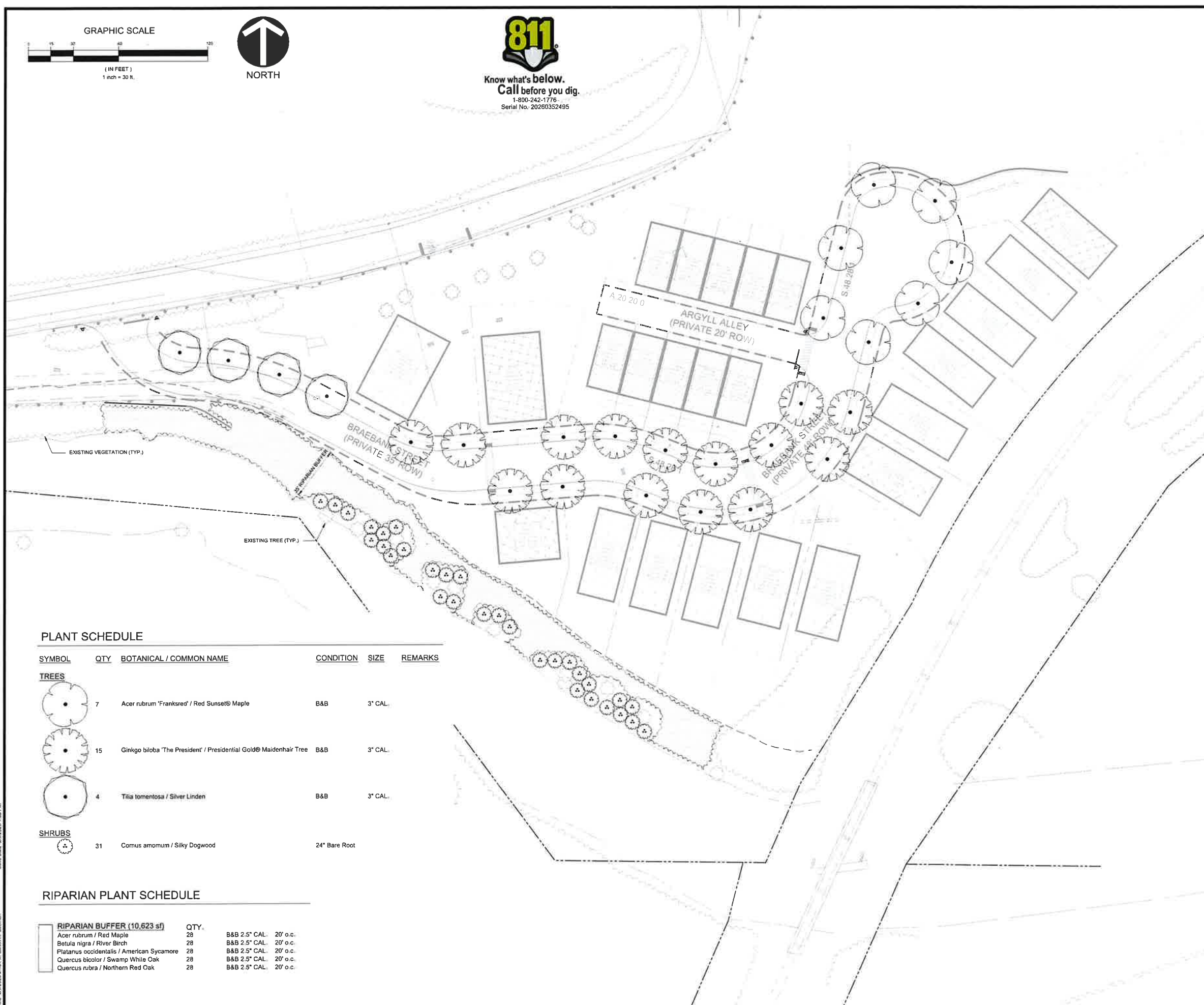
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LANDSCAPE REQUIREMENTS:

1. GENERAL PROVISIONS
 - A. ALL DECIDUOUS TREES REQUIRED BY THIS CHAPTER SHALL BE A MINIMUM OF 2 1/2" CALIPER IN SIZE, MEASURED SIX INCHES ABOVE GROUND LEVEL. STREET TREES SHALL BE 3" CALIPER.
 - B. ALL EVERGREEN TREES REQUIRED BY THIS CHAPTER SHALL BE A MINIMUM OF SIX FEET IN PLANTED HEIGHT, MEASURED FROM FINISHED GRADE.
 - C. ALL SHRUBS SHALL BE A MINIMUM OF 24 INCHES IN HEIGHT AT INSTALLATION.
2. BUILDING FOUNDATION PLANTINGS
 - A. FIFTY PERCENT OF THE LENGTH OF NONRESIDENTIAL AND MULTIFAMILY RESIDENTIAL BUILDINGS FACADES THAT FACE A STREET, INTERNAL STREET, PARKING LOT, OR PARKING LOT DRIVE AISLE SHALL INCLUDE A FOUNDATION PLANTING AREA IMMEDIATELY ADJACENT TO THE BUILDING. IF THERE ARE TWO OR MORE FACADES, PLANTING AREAS SHALL BE PROVIDED ALONG A MINIMUM OF TWO FACADES.
 - (1) THE FOUNDATION PLANTINGS MAY BE REDUCED TO A MINIMUM OF 25% OF THE LENGTH ALONG A FRONT BUILDING FACADE WITH TWO OR MORE BUILDING ENTRANCES.
 - (2) ALONG A FRONT BUILDING FACADE, RAISED PLANTED BOXES MAY BE USED IN LIEU OF THE MINIMUM REQUIRED FOUNDATION PLANTINGS ALONG THAT FACADE, SUCH THAT THE PLANTERS PROVIDE THE SAME SQUARE FOOTAGE OF PLANTING AREA AS THE REQUIRED FOUNDATION PLANTINGS WOULD PROVIDE. THE PLANTERS MUST BE PLACED WITHIN THE WIDTH OF THE FACADES.
 - B. THE FOUNDATION PLANTING AREA SHALL BE A MINIMUM OF SIX FEET WIDE.
 - C. THE FOUNDATION PLANTING AREA SHALL INCLUDE, AT A MINIMUM, ORNAMENTAL TREES, EVERGREEN TREES, AND SHRUBS, IN ADDITION TO ANY ANNUAL OR PERENNIAL VEGETATION.
 - D. IN ADDITION TO ANY OTHER REQUIRED PLANTINGS, ALL BUILDING FOUNDATION PLANTING AREAS SHALL BE PLANTED WITH TURF GRASS, ORNAMENTAL GRASSES, OR OTHER GROUND COVER PLANT MATERIAL. MULCH, STONE, OR SIMILAR GROUND COVER MATERIALS ARE TO BE USED SPARINGLY.
3. STREET TREES
 - A. STREET TREES SHALL BE INSTALLED AS PART OF THE CONSTRUCTION OF ANY NEW PUBLIC OR PRIVATE STREET.
 - (1) STREET TREES SHALL BE PROVIDED ON BOTH SIDES OF THE NEW STREET.
 - B. STREET TREES SHALL BE PLANTED AT A RATE OF ONE PER 35 FEET ON CENTER.
 - C. ALL STREET TREES SHALL BE A MINIMUM OF THREE-INCH CALIPER IN SIZE AT THE TIME OF PLANTING, MEASURING SIX INCHES ABOVE GROUND LEVEL.
 - D. STREET TREE REQUIREMENTS RELATED TO MARS ROAD MAY BE MET BY PRESERVING EXISTING TREES ADJACENT TO THE ROAD RIGHT-OF-WAY.



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONDITION	SIZE	REMARKS
TREES					
	7	Acer rubrum 'Franksred' / Red Sunset® Maple	B&B	3" CAL.	
	15	Ginkgo biloba 'The President' / Presidential Gold® Maidenhair Tree	B&B	3" CAL.	
	4	Tilia tomentosa / Silver Linden	B&B	3" CAL.	
SHRUBS					
	31	Cornus amomum / Silky Dogwood	24" Bare Root		

RIPARIAN PLANT SCHEDULE

RIPARIAN BUFFER (10,623 sf)		QTY.	
	Acer rubrum / Red Maple	28	B&B 2.5" CAL. 20' o.c.
	Betula nigra / River Birch	28	B&B 2.5" CAL. 20' o.c.
	Platanus occidentalis / American Sycamore	28	B&B 2.5" CAL. 20' o.c.
	Quercus bicolor / Swamp White Oak	28	B&B 2.5" CAL. 20' o.c.
	Quercus rubra / Northern Red Oak	28	B&B 2.5" CAL. 20' o.c.



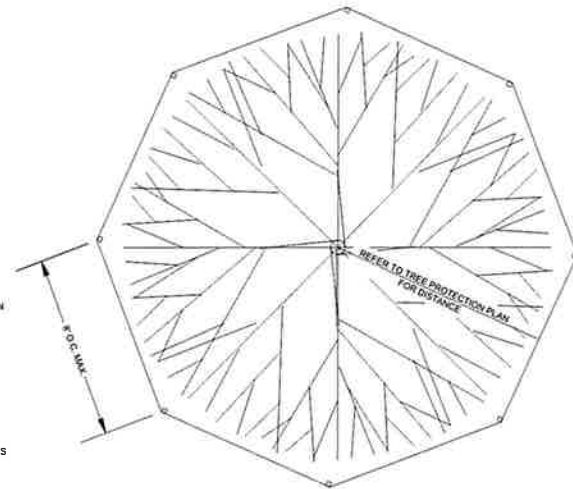
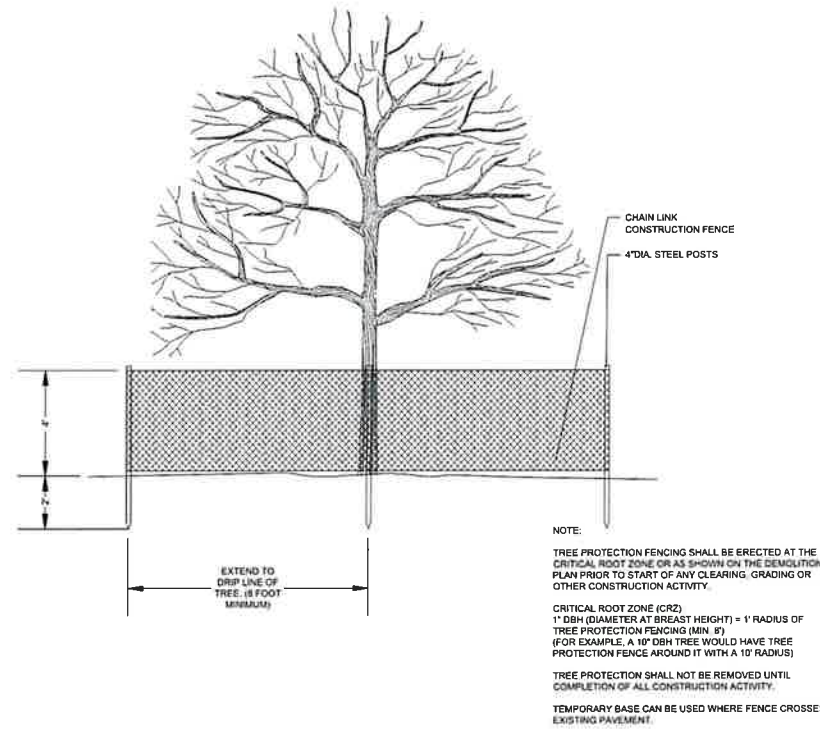
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HASTINGS
South Fayette Township/Pittsburgh, PA
CHARTER HOMES AT HASTINGS, INC.

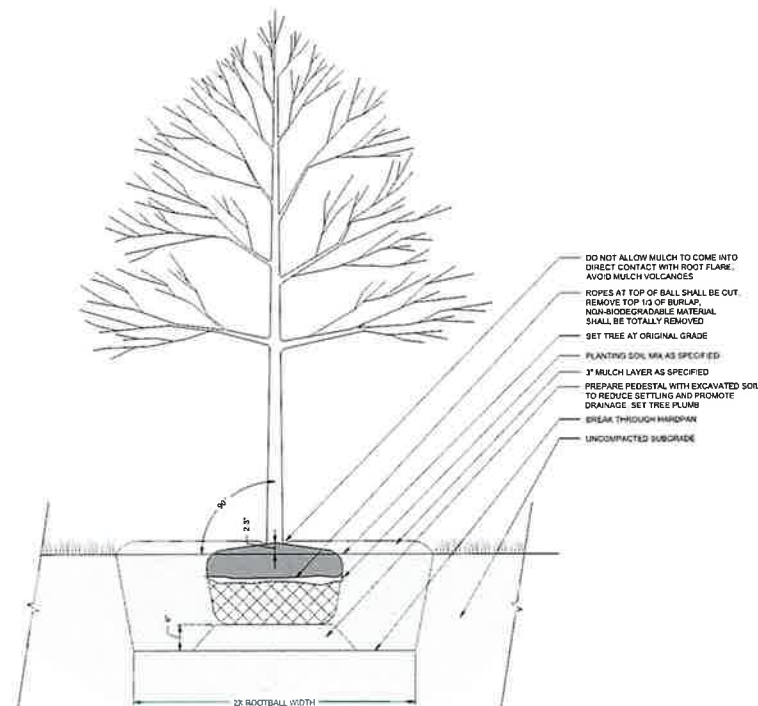
HASTINGS PHASE 5
MAYVIEW ROAD
PITTSBURGH, PA 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

LANDSCAPE PLAN
Project Number: 18927-0096
Drawing Scale: 1" = 30'
Date Issued: FEB 2026
Index Number:
Drawn By: CRS
Checked By: DMH
Project Manager: DMH
L100

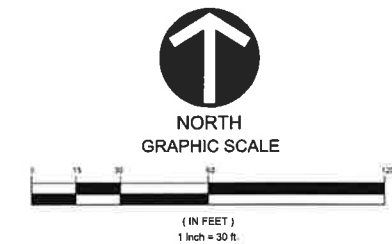
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1	TREE PROTECTION FENCING
L102	



2	DECIDUOUS TREE PLANTING, TYP.
L102	



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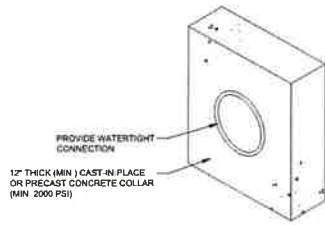
HASTINGS
South Fayette Township/Pittsburgh, PA
CHARTER ENGINEERS & ARCHITECTS

HASTINGS PHASE 5
MAYVIEW ROAD
PITTSBURGH, 15102
PREPARED FOR:
CHARTER HOMES AT HASTINGS, INC
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

LANDSCAPE DETAILS

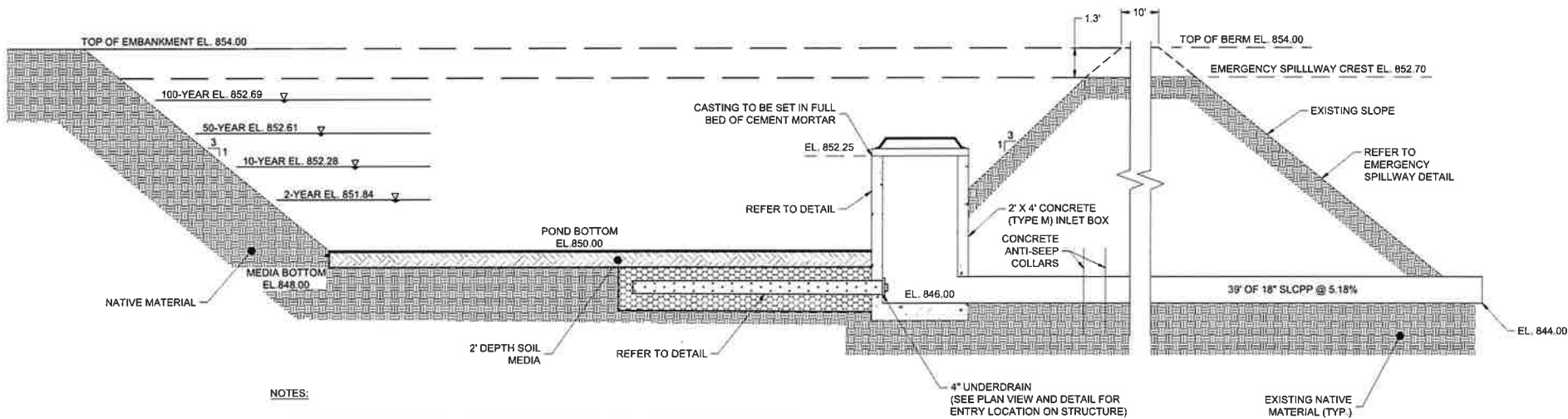
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Project Manager: DMH

L101



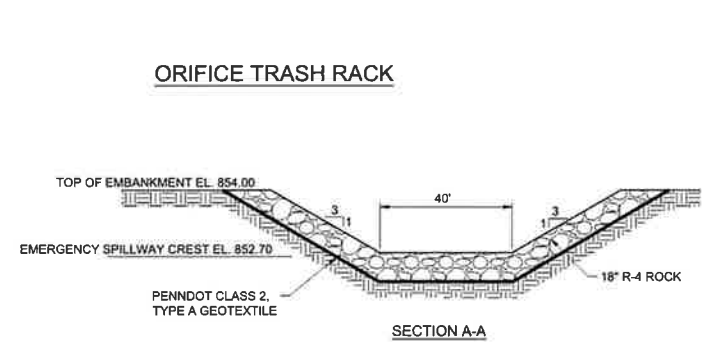
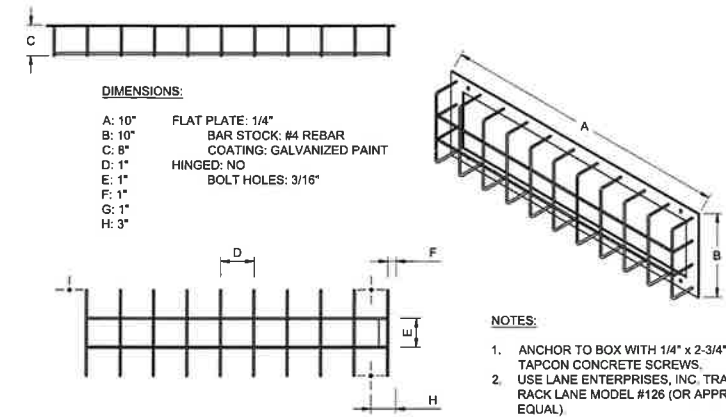
CONCRETE ANTI-SEEP COLLAR

- NOTES:**
1. MINIMUM DISTANCE TO PIPE JOINT SHALL BE 2 FEET.
 2. COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.
 3. SPLIT COUPLER COLLARS TO BE SIZED IN ACCORDANCE WITH OUTLET PIPE.

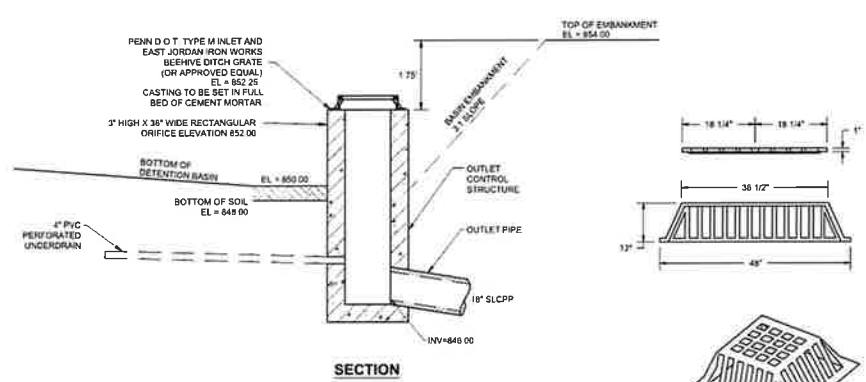


- NOTES:**
1. ALL BASIN STRUCTURES, FEATURES, AND ELEVATIONS TO BE SIZED AND ARRANGED ACCORDING TO THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT.
 2. CONSTRUCT INLET IN ACCORDANCE WITH THESE SPECIFICATIONS AND PENNDOT PUBLICATION 408, SECTION 605, FOR "CAST IN PLACE UNITS" AND SECTION 713.2 FOR "PRECAST CONCRETE UNITS".
 3. INLET GRATES TO BE GRAY IRON.
 4. MANHOLE STEPS REQUIRED IN ALL STRUCTURES OVER 5' DEEP.
 5. THE PERMANENT RISER STRUCTURE IS TO BE A PENNDOT TYPE M INLET BOX.

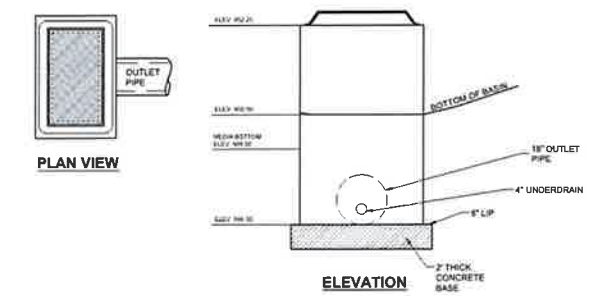
01	SCM 5.2 ABOVE/BELOW GROUND INFILTRATION BASIN (BASIN COMPONENT)
PCSM2	



SWM	TOP ELEV	POND BOT ELEV	OUTLET STRUCTURE	RISER ELEV	SPILLWAY ELEV	SPILLWAY WIDTH	OUTLET PIPE DIA	OUTLET SIZE	OUTLET SLOPE
INFILTRATION BASIN	854.0	850.0	OS #2	852.25	852.70	40'	36" DIA	18"	5.18%



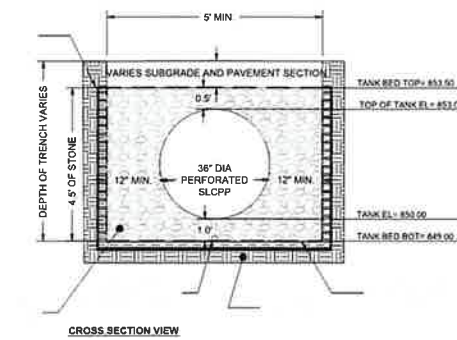
SECTION



ELEVATION

- NOTES:**
1. SEEHIVE DITCH GRATE SHALL BE EAST JORDAN IRON WORKS NUMBER 6496 (OR APPROVED EQUAL).
- OUTLET STRUCTURE GRATE**
- NOTES:**
1. OUTLET PIPE AND ORIFICE TO BE SIZED AND ARRANGED ACCORDING TO THE STORM WATER MANAGEMENT REPORT.
 2. CONSTRUCT INLET IN ACCORDANCE WITH THESE SPECIFICATIONS AND PENNDOT PUBLICATION 408, SECTION 605, FOR "CAST IN PLACE UNITS" AND SECTION 713.2 FOR "PRECAST CONCRETE UNITS".
 3. INLET FRAMES AND GRATES TO BE GRAY IRON.
 4. MANHOLE STEPS REQUIRED IN ALL STRUCTURES OVER 5' DEEP.

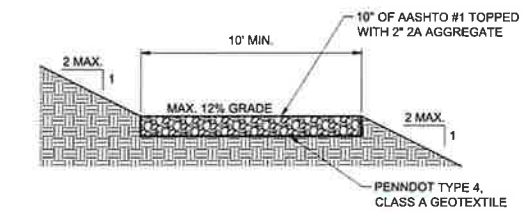
02	SCM 5.2 ABOVE/BELOW GROUND INFILTRATION BASIN OUTLET CONTROL STRUCTURE OS-2
PCSM2	



CROSS SECTION VIEW

- NOTE:**
1. PROVIDE 6 PERFORATIONS PER LINEAR FOOT OF PIPE
 2. REFER TO PLANS FOR PIPE SIZE, TYPE, AND SLOPE.

03	SCM 5.2 INFILTRATION BASIN (TANK COMPONENT)
PCSM2	

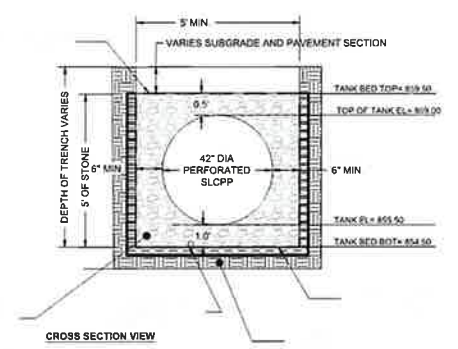
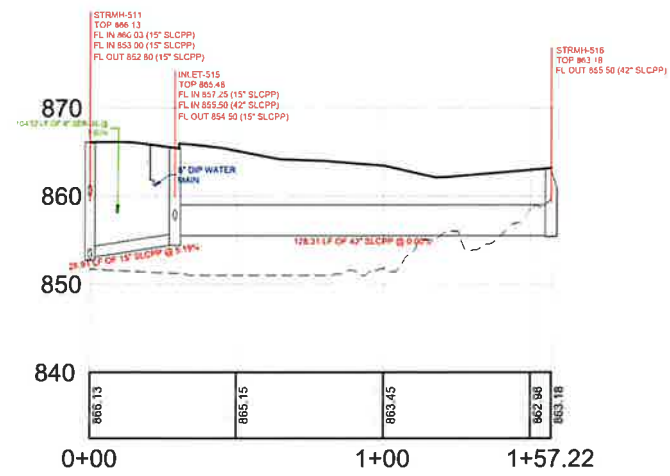
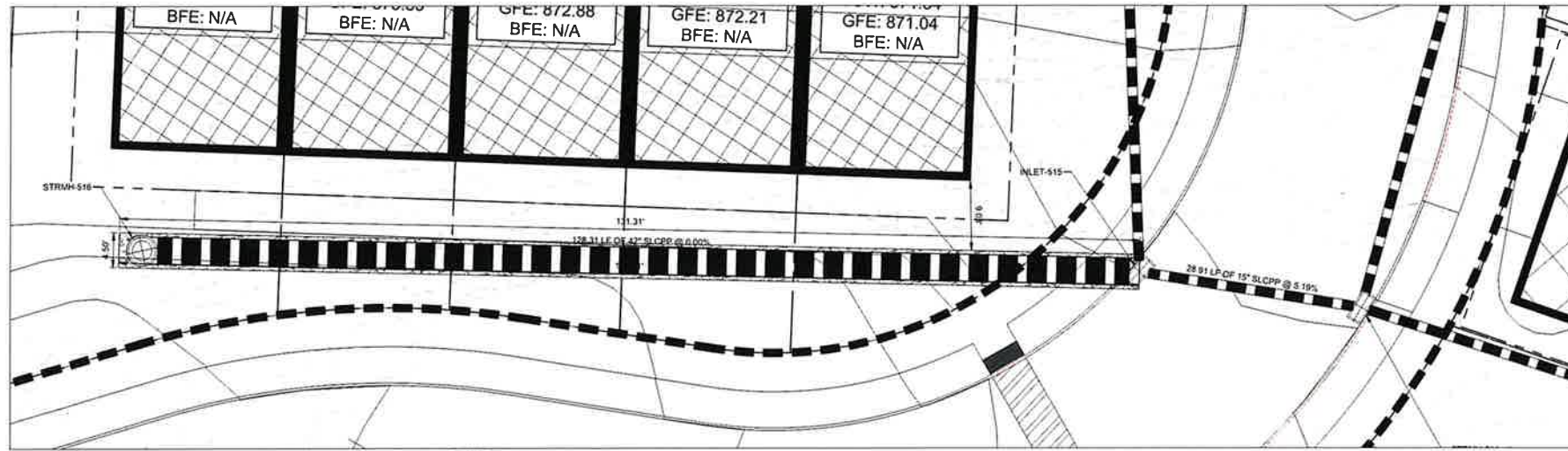


04	BASIN ACCESS ROAD TYPICAL SECTION
PCSM2	

REVISION RECORD

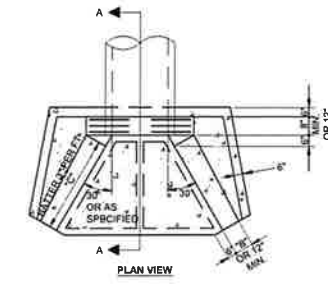
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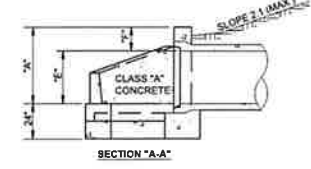
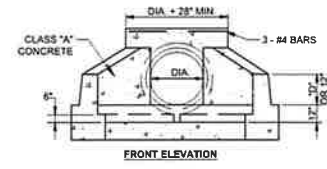
NOTE:
 1. PROVIDE 6 PERFORATIONS PER LINEAR FOOT OF PIPE.
 2. REFER TO PLANS FOR PIPE SIZE, TYPE, AND SLOPE.

01 SCMS.1: STORMWATER
 PCSM3 DETENTION TANK



PIPE DIAMETER	A	B	C	D	E	F
15"	2'-6"	9"	2'-0"	12"	1'-9"	9"
18"	2'-6"	9"	2'-0"	12"	2'-0"	9"
24"	3'-3"	9"	2'-0"	12"	2'-6"	9"
30"	4'-0"	12"	2'-0"	15"	3'-0"	12"
36"	4'-6"	12"	2'-6"	15"	3'-6"	12"
42"	5'-3"	15"	4'-3"	18"	4'-0"	15"
48"	5'-9"	15"	4'-9"	21"	4'-6"	15"
54"	6'-3"	15"	5'-3"	24"	5'-0"	15"
60"	7'-0"	15"	5'-9"	2'-3"	5'-8"	18"
66"	7'-6"	15"	7'-0"	2'-9"	6'-0"	18"
72"	8'-0"	18"	7'-0"	2'-6"	6'-6"	18"
84"	9'-0"	18"	8'-3"	2'-9"	7'-6"	18"

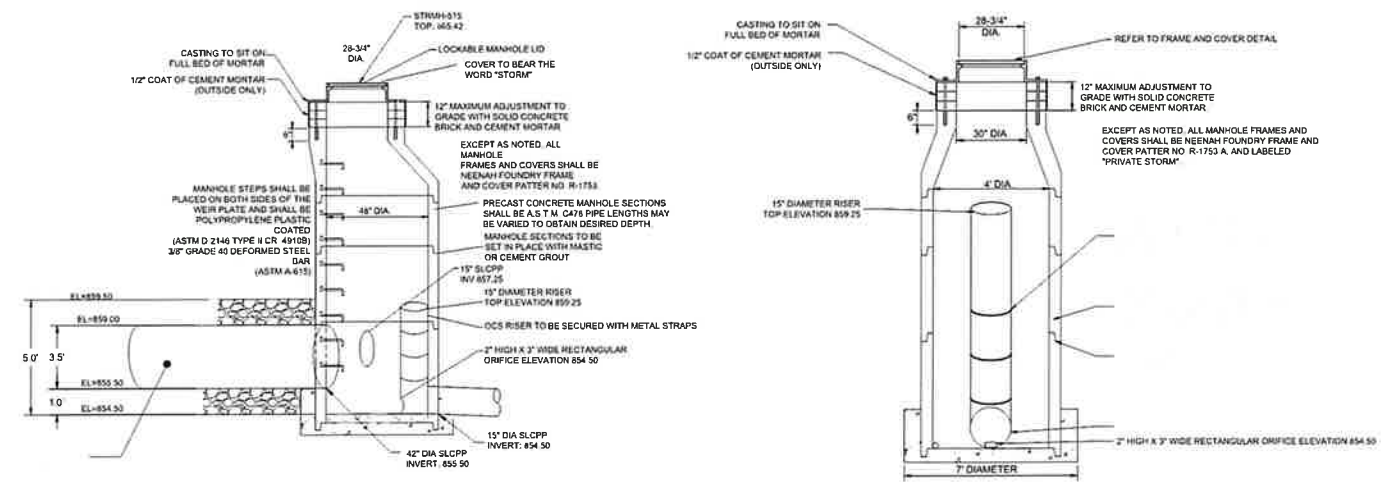
NOTE:
 1. SHOP DRAWINGS FOR ALL PRECAST HEADWALLS/ENDWALLS OR CONCRETE END SECTIONS MUST BE SUBMITTED FOR APPROVAL.



NO.	PIPE DIA. (In)	TAIL WATER COND. (Max or Min)	MIN. FOR PIPE (FT/FT)	PIPE SLOPE (CFS)	Q (CFS)	V* (FPS)	Flow Depth (ft)	Tailwater Condition	RIPRAP SIZE	Rt (In)	At (ft)	Alw (ft)	Atw (ft)
EW-1	36	Min	0.011	0	6.36	4.27	0.79	Min	R-4	18	8.00	9.00	17.00
EW-2	36	Min	0.011	0	6.65	4.32	0.81	Min	R-4	18	8.00	9.00	17.00
EW-3	18	Min	0.011	0.0778	15.59	9.02	1.42	Max	R-5	27	25.00	4.50	15.00

NOTES:
 ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
 ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

03 PCSM3 RIP-RAP APRON AT ENDWALL



02 SCMS.1: OUTLET STRUCTURE
 PCSM3

REVISION RECORD	No.	Date
	01	
	02	
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